



AGENDA

**REGULAR MEETING OF THE CITY COUNCIL
City of Garland
Duckworth Building, Goldie Locke Room
217 North Fifth Street
Garland, Texas
April 19, 2016
7:00 p.m.**

The City Council extends to each visitor a sincere welcome. We value your interest in your community and your participation in the meetings of this governing body. Regular meetings of the City Council are held the 1st and 3rd Tuesdays of each month, beginning at 7:00 p.m.; the City Council meets regularly in work sessions at 6:00 p.m. the Monday preceding each regular meeting.

The Duckworth Building is wheelchair accessible. Special parking is available on the north side of the building on Austin Street and may be accessed by a sloped ramp from the street to the door facing Fifth Street. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services must contact the City Secretary's Office at (972) 205-2404 at least two working days prior to the meeting so that appropriate arrangements can be made. **BRILLE IS NOT AVAILABLE.**

CITY COUNCIL GOALS 2020

(Adopted by Resolution No. 9402 on December 20, 2005)

- Sustainable quality development and redevelopment
- Financially stable government with tax base that supports community needs
- Defends rightful powers of municipalities
- Fully informed and engaged citizenry
- Consistent delivery of reliable City services
- Safe, family-friendly neighborhoods
- Embrace diversity

MAYORAL PROCLAMATIONS, RECOGNITIONS AND ANNOUNCEMENTS

The Mayor may present proclamations and recognize attendees or award winners, and may make announcements regarding upcoming City events and matters of interest to citizens. There will be no Council deliberations or votes on these matters.

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of Council, without discussion. Council has been briefed on these items at a previous work session and approval of the consent agenda authorizes the City Manager to implement each item. The Mayor will announce the agenda and provide an opportunity for members of the audience and the City Council to request that an item be removed and considered separately.

1. Consider approval of the minutes of the April 5, 2016 Regular Meeting.

2. Consider approval of the following bids:

a. **AssetWorks Fasuite Software Upgrade** **Bid No. 5763-15**

AssetWorks **\$8,560.00**

This request is to provide additional services, support, and training required to successfully complete the AssetWorks FASuite upgrade.

b. **Water and Sewer Improvements** **Bid No. 6313-16**

Tiseo Paving Company, Inc. **\$3,347,525.65**

This request is to provide Water and Sewer Improvements at South Country Club Road and Wendell Way.

c. GP&L Vegetation Management Bid No. 6354-16

Asplundh Tree Expert Co. \$1,000,000.00

This request is to provide Vegetation Management for Garland Power & Light's Transmission & Distribution systems. This will be a Term Contract with four optional renewals.

d. Hydro Excavation Truck Bid No. 6456-16

Rush Truck Center \$396,212.50

This request is to purchase one Hydro Excavation Truck to be used by the Water Department in their daily operations.

e. Fleet Replacement Vehicles Bid No. 6460-16

Caldwell Country Ford \$117,876.56

This request is to purchase five SUVs and Pickup Trucks to be used by various City departments in their daily operations.

3. Public hearings were previously conducted for the following zoning cases. Council approved the requests and instructed staff to bring forth the following ordinances for consideration.

a. Zoning File No. 16-04, Charlie Shearer

Consider an ordinance amending the zoning laws of the City of Garland, by approving a Specific Use Provision for Personal Services on a 0.3454-acre tract of land zoned Planned Development (PD) District 14-36 for Neighborhood Office Uses with Retail Store/Personal Services allowed by Specific Use Provision only and located at 1234 Thomasville Court; providing for conditions, restrictions, and regulations; providing a penalty under the Provisions of Sec. 10.05 of the Code of Ordinances of the City of Garland; providing a Savings Clause and a Severability Clause; and providing an effective date.

b. Zoning File No. 16-07, IDI Gazeley

Consider an ordinance amending the zoning laws of the City of Garland, by approving 1) an amendment to Planned Development (PD) District 92-21 for Industrial Uses and 2) a Concept Plan for the development of a Warehouse, Office/Showroom (indoor) building on property zoned PD 92-21 for Industrial Uses on a 25.41-acre tract of land located at the northeast intersection of Leon Road and Towngate Drive; providing conditions, restrictions, and regulations; and providing for a penalty and an effective date.

- 4. Consider a resolution authorizing the City Manager to enter into a Real Property Transaction with the State of Texas (TXDOT) for the purchase of a 10.00 acre tract of land located in and around State Highway 66, east of N. Country Club Rad; and providing an effective date.**

Approval of a resolution authorizing the City Manager to purchase a ten acre tract of land located on State Highway 66 from the Texas Department of Transportation (TxDOT) for future development.

- 5. Consider a resolution approving the abandonment, release, and conveyance of a portion of a utility easement in the Highcrest addition; authorizing the Mayor of the City of Garland to execute a deed conveying the property to David and Kayla Scott; and providing an effective date.**

At the April 4, 2016 Work Session, Council was requested to consider the abandonment of 5' wide by 70' long Utility Easement on Lot 23, Block 4 of the Highcrest Addition.

- 6. Consider a resolution authorizing the City Manager to execute a Project Specific Agreement with Dallas County for repairs of bridges over Type B Thoroughfares within the City of Garland, Dallas County District 1; and providing an effective date.**

At the April 4, 2016 Work Session, Council was requested to consider entering into a Project Specific Agreement (PSA) with Dallas County for participation in remediation repairs of bridges over Type B thoroughfares within Dallas County District 1.

- 7. Consider by minute action authorizing the City Manager to proceed with the sale of an electric utility and access easement located in the City of**

**Denton, Texas in the 1700 block of Spencer Road at the City of Garland
Spencer Electric Generation Facility**

Consider the sale of an electric utility and access easement located in the City of Denton, Texas in the 1700 block of Spencer Road at the City of Garland Spencer Electric Generation Facility. The City was approached by the City of Denton for the purchase of an electric utility and access easement across the City's Spencer Generation Facility located in Denton, Texas. The City of Denton is requesting the easement for the purpose of constructing electric transmission and distribution lines across the City's property. City staff has held multiple meetings with the City of Denton staff and representatives to discuss issues with construction activities and access to the Spencer Electric Generation Facility property. City staff worked with the City of Denton staff and representatives to satisfactorily address City staff's concerns regarding access and construction activities, which are reflected in the easement documents requested for Council approval.

**8. Consider by minute action the appointment to the Animal Services
Advisory Committee.**

The Animal Services Advisory Committee (ASAC) is a six-person committee authorized by Section 22.23 of the Code of Ordinances to provide advice to the City Council and Managing Director of Health on the operation of the Animal Shelter. The Animal Services Advisory Committee meets at a minimum of three times per year. Jason Chessher, Director of Health, is the staff liaison to the committee. Staff recommend Chuck Dumas, Rowlett's Environmental Services Manager, to fill the vacant position of "public health official" on the ASAC.

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the City Secretary before speaking (cards are located at the entrance to the Council Chambers). The Mayor will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

9. Roadway Impact Fee Waiver for Steve and Gina Runnels

Steve and Gina Runnels are requesting a waiver of the roadway impact fee for development of the property located at 1234 Thomasville Court.

10. Hold public hearings on the following zoning cases:

- a. Consider the application of Dayne Ram requesting approval of 1) an amendment to Planned Development (PD) District 06-79 for Community Retail Uses and Concept Plan, 2) a Detail Plan for Hotel/Motel, Limited Service and Office, General, 3) a Specific Use Provision for Hotel/Motel, Limited Service and 4) variances to Section 2.41 of the Garland Development Code regarding maximum lot coverage and maximum building height. This property is located on the north corner of Naaman Forest Boulevard and Elliott Avenue. (File No. Z-16-05, District 1)

The applicant proposes to develop the subject property with a 4-story hotel and a 1-story shell building for office, retail and service uses.

- b. Consider the application of Kimley-Horn and Associates requesting approval of 1) an amendment to Planned Development (PD) 15-40 and 2) a Detail Plan for Multi-Family on property zoned Planned Development (PD) 15-40 for Multi-Family Uses. This property is located south and west of Bunker Hill Road and north and west of Miles Road. (File No Z-16-06, District 1)

The request is to amend Planned Development (PD) District 15-40 and approve a Detail Plan for Phase 1 of a multi-family development.

11. Citizen comments.

Persons wishing to address issues not on the agenda may have three minutes to address Council at this time. Council is prohibited from discussing any item not posted according to the Texas Open Meetings Act.

12. Adjourn.

All Regular Council meetings are broadcast live on CGTV, Time Warner Cable Channel 16, and Verizon FIOS TV 44. Meetings are rebroadcast at 9:00 a.m. and 7:00 p.m. on Wednesday-Sunday and at 7:30 p.m. on Thursday. Live streaming and on-demand videos of the meetings are also available online at

www.garlandtx.gov. Copies of the meetings can be purchased through the City Secretary's Office – audio CD's are \$1 each and DVD's are \$3 each.

The City Council of the City of Garland convened in regular session at 7:00 p.m. on Tuesday, April 5, 2016 in the Goldie Locke Room at The Duckworth Building, 217 North Fifth Street, Garland, Texas, with the following members present:

COUNCIL PRESENT:

Mayor	Douglas Athas
Mayor Pro Tem	B. J. Williams
Council Member	Marvin 'Tim' Campbell
Council Member	Anita Goebel
Council Member	Stephen Stanley
Council Member	Billy Mack Williams
Council Member	Scott LeMay
Council Member	James Cahill

STAFF PRESENT:

City Manager	Bryan L. Bradford
Deputy City Attorney	Brian England
City Secretary	Eloyce René Dowl

ABSENT:

Deputy Mayor Pro Tem	Lori Dodson
City Attorney	Brad Neighbor

CALL TO ORDER:

The meeting was called to order by Mayor Douglas Athas. Mayor Athas led the prayer and invocation

CEREMONIALS:

The Mayor presented Special Recognition to Matt Hosek, Event Specialist at The Atrium, for taking quick action to revive a patron and save his life.

CONSENT AGENDA:

All items marked with asterisks (**) on the Consent Agenda were voted on at the beginning of the meeting. Mayor Athas read those items into the record. Motion was made by Council Member Campbell, seconded by Council Member Goebel, to approve items 1, 2a, 2b, 2c, 2d, 2e, 2f, 2g, 2h, 2i, 2j, 2k, 2l, 2m, 2n, 2o, 3, 4, 5, 6, and 7. Motion carried, 8 ayes, 0 nays.

1. APPROVED**

Approval of the Minutes of the March 15, 2016 Regular Meeting.

2a. APPROVED**

Bid No. 4906-15 to Ron Hobbs Architects in the amount of \$82,268.00 for Professional Architectural Services.

This request is to incorporate civil engineering and landscape consulting services for the Granger Recreation Center renovation and expansion.

- 2b. APPROVED** Bid No. 5254-15 to Lambda Construction, Ltd. In the amount of \$175,877.00 for TMPA Gibbons Creek Reactive Support.
- This request is to add a T2 breaker foundation and conduit plan as required for the TMPA Gibbons Creek Reactive Support project.
- 2c. APPROVED** Bid No 5409-15 to ABB, Inc. in the amount of \$131,918.00 for Combined Instrument Transformers.
- This request is to purchase nine additional Combined Instrument Transformers for the Lookout Substation. These additional transformers are necessary due to a reconfiguration to the substation to accommodate the RagingWire data center.
- 2d. APPROVED** Bid No. 5758-15 to GSR Andrade Architects in the amount of \$34,500.00 for Professional Services for the Carver 3 Renovation.
- This request is to incorporate additional architectural and engineering services for Carver 3 Phase II Renovation.
- 2e. APPROVED** Bid No. 5861-15 to Tech Logic in the amount of \$1,307,811.17 for Library RFID and AMH Equipment.
- This request is to equip all Library facilities with Radio Frequency Identification (RFID) and Automated Materials Handling (AMH) equipment. This equipment will allow materials to be automatically checked inform a patron's account whether the Library is open or closed.
- 2f. APPROVED** Bid No. 6161-16 to T&D Solutions, LLC in the amount of \$500,000.00 for Labor for LED Street Light Conversion.
- This request is to provide the labor associated with Garland Power and Light's LED Street Light Conversion project.
- 2g. APPROVED** Bid No. 6197-16 to Emerson Process Management in the amount of \$484,243.00 for GP&L Olinger Unit 4 GE Mark V Ovations Controls.

This request is to provide for the replacement of the GP&L Olinger Unit 4 GE Mark V Ovarions Controls as port of the Olinger Reliability Upgrade CIP project.

2h. APPROVED**

Bid No. 6257-16 to Tri-Con Services, Inc. in the amount of \$1,499,038.40 for Water and Street Improvements.

This request is to provide Water Improvements at Stonewall Street, Springbranch Drive, and Meridian Way.

2i. APPROVED**

Bid No. 6373-16 to Sam Pack's Five Star Ford in the amount of \$136,657.80 for a Crane Truck.

This request is to purchase a seven ton Crane Truck to be used by the Water Department in their daily operations.

2j. APPROVED**

Bid No. 6383-16 to David N. French, Metallurgist, in the amount of \$8,736.00 for Boiler Tube Analysis.

This request is to provide for additional Boiler Tube Analysis on Spencer Unites 4 and 5 and Olinger Units 1 and 3.

2k. APPROVED**

Bid No. 6386-16 to Weaver Consultants Group in the amount of \$270,343.00 for Professional Engineering and Monitoring.

This request is to provide professional services for general engineering, groundwater monitoring, and perimeter gas probe monitoring for Environmental Waste Services – Disposal Operations projects. This is a Term Contract with four optional renewals.

2l. APPROVED**

Bid No. 6387-16 to Weaver Consultants Group in the amount of \$134,613.00 for Construction Quality Assurance for Hinton Landfill.

Texas Commission on Environmental Quality (TCEQ) requires Construction Quality Assurance (CQA) by a third party engineer (professional of record) for the Hinton Landfill Waste Cell #7 construction project.

2m. APPROVED**

Bid No. 6418-16 to Power Engineers, Inc. in the amount of \$193,600.00 for Engineering Services for Substation Breaker Replacements.

This request is to provide Engineering Design Services required for the replacement of eight substation breakers at the Lyons Road and Walnut Road Substations.

2n. APPROVED**

Bid No. 2886-15 to Concord Commercial Services in the amount of \$19,985.00 for Kennel Resurfacing.

This request is to provide for additional materials and labor required to prepare and resurface the kennels at Animal Services.

2o. APPROVED**

Bid No. 6334-16 to Techline, Inc. in the amount of \$377,655.65 and TraStar in the amount of \$317,149.00, for a total of \$694,804.65 for LED Luminaires for the Lighting Project.

This request is to maintain LED luminaires in the Warehouse inventory to support GP&L's LED lighting project. This is a Term Contract with four optional renewals.

3. APPROVED**

Resolution No. 10238 renaming the City Hall, located at 200 N. Fifth Street, as the "William E. Dollar" Municipal Building; and providing an effective date.

Council is requested to approve a resolution naming City as the "William E. Dollar" Municipal Building.

4. APPROVED**

Resolution No. 10239 approving an amendment to the City of Garland Thoroughfare Plan by designating Zion Road as a Type "F" Roadway; and providing an effective date.

Council is requested to consider a resolution approving an amendment to the City of Garland Thoroughfare Plan by designating Zion Road as a Type "F" Roadway.

5. APPROVED**

Ordinance No. 6827 authorizing an amendment to the 2015-16 Operating Budget (Budget Amendment No. 1), providing for supplemental appropriation of funds in the General Fund, the Economic Development Fund, the Equipment Replacement Fund, the Facilities Management Fund, the General Fund, the Public Safety Grant Funds, the

Wastewater Utility Fund, and various funds associated with purchase order encumbrances; and providing an effective date.

Council is requested to consider approval of the ordinance amending the 2015-16 Adopted Budget.

6. APPROVED**

Minute action authorizing the City Manager to execute a Consultant Services Agreement with MuniServices, LLC to audit waste hauler franchise fees.

At the March 14, 2016 Work Session, Council considered the authorization of a consultant to audit waste hauler franchise fees.

7. APPROVED**

Minute action authorizing the City Manager to approve an amendment to a transmission operator, maintenance, and construction services agreement between the City of Garland and the Texas Municipal Power Agency.

Several years ago, GP&L took over the transmission operations functions for the TMPS transmission system. The system is substantial, providing transmission needs for the TMPA family of member cities located across the state. TMPA did not have the resources to operate and maintain the system and, because GP&L has those capabilities, the City and TMPA agreed that GP&L would provide those services. The City of Denton, which is also a member of TMPA, desires to do the same on a smaller scale, limited to TMPA transmission assets located in the Denton area. In order to accommodate Denton, it is necessary to amend the City's agreement with TMPA to carve out those transmission assets that Denton will operate and maintain from the remainder of the TMPA transmission assets that the City will continue to operate and maintain. TMPA and all of the member cities are in agreement with the proposed amendment.

8a. APPROVED

Consider the application of Charlie Shearer requesting approval of 1) a Specific Use Provision for Personal Services on a property zoned Planned Development (PD) District 14-36 for Neighborhood Office Uses with Retail

Store/Personal Services allowed by Specific Use Provision only and 2) a variance to Section 2.41 of the Garland Development Code regarding building height. This property is located at 1234 Thomasville Court. (File No. Z 16-04, District 1)

Mayor Athas opened the discussion at 7:13 p.m. The speaker on this item was Will Guerin, Director of Planning. Motion was made by Council Member Campbell to approve the request as recommended by staff and the Plan Commission, seconded by Council Member Goebel to close the hearing at 7:16 p.m. Motion carried 8 ayes, 0 nays.

8b. APPROVED**

Consider the application of IDI Gazeley requesting approval of 1) an amendment to Planned Development (PD) District 92021 for Industrial Uses and 2) a Concept Plan for the development of a Warehouse, Office/Showroom (Indoor) building on property zoned PD 92-21 for Industrial Uses. This property is located on the east side of Leon Road between McCree Road and Towngate Drive. (File No. Z 16-07, District 5)

The applicant requests to amend Planned Development 92-21 to increase the maximum height from thirty (30) feet to forty-two (42) feet for any building or structure within 200 feet of any adjacent residential uses. The request is also to establish a Concept Plan for the development of a 496,000 square-foot Office/Warehouse building.

Mayor Athas opened the discussion at 7:17 p.m. The speakers on this item were Will Guerin, Director of Planning, Doug Johnson, IDI Gazeley Developer, IDI Gazeley Kevin Green, Construction Manager, Lewis Adrian, and Steve Mattson. Plan Commission and staff recommended approval of the request with the condition of extended screening which is represented in the concept plan and a 20 foot extension on the fence.

Motion was made by Council Member Billy Mack Williams to approve the request as recommended by staff and the Plan Commission, seconded by Council Member LeMay to close the hearing at 7:53 p.m. Motion carried 8 ayes, 0 nays.

9. HEARING HELD

Hold a public hearing to receive comment on the 2016-2017 CDBG, HOME and ESG Funding.

At the April 4, 2016 Work Session, Council was provided information regarding the available funding and applications received for CDBG, HOME, and ESG 2016-2017 budget year. As part of the review process, a public hearing is needed to obtain comments from any interested parties.

Mayor Athas opened the hearing at 7:54 p.m. The speakers on this item were Stan Luckie, Jenny Williams, and Ralph Kirkham, Hope Clinic, Emily Garvin, Meals on Wheels, Brian Gaddis, Garland Parks STARS Camp, Suzanna Sulfstede, Nursing Home Ombudsman, Michael Bencheck, Matthew 25:40, Karen Singleton, Reinventing Human Capital, Reverend George Duncan and Daniel Wheaton, Rowlett Road Community Development Corporation, Edward Diogu, iKandy, Marilynne Serie, Achievement Center of Texas, Jose Alvarado, City of Garland Fair Housing Administrator, Jara Fansler, Salvation Army, Bernard Tolan, Salvation Army, Marie Queneau, Emma's Education Center, and Marcellas Austin, 7-Day Fitness Academy.

10. APPOINTMENTS

A vote was cast and the motion carried 8 ayes, 0 nays as the following names were placed in nomination:

Council Member Stephen W. Stanley

- Maria Romero – Senior Citizens Advisory Commission

Council Member Jim Cahill

- George R. House – Senior Citizens Advisory Commission

11. CITIZEN COMMENTS: Dennis Cagle
Brigetta Dolivio

12: ADJOURN: There being no further business to come before the City Council, Mayor Athas adjourned the meeting at 9:12 p.m.

CITY OF GARLAND, TEXAS

/s/ Douglas Athas, Mayor

/s/ Eloyce, René Dowl, City Secretary



GARLAND
PURCHASING

Bid No.: 5763-15
Agenda Item: 2a
Meeting: Council
Date: 04/19/16

Purchasing Report

ASSETWORKS FASUITE SOFTWARE UPGRADE OPEN MARKET

PURCHASE JUSTIFICATION:

The purpose of this Change Order is to provide additional services, support, and training required to successfully complete the AssetWorks FASuite upgrade. Fleet Services uses the FASuite program to manage the City's fleet vehicles. These additional requirements were discovered during the implementation of the upgrade. This Change Order represents a 44% increase to the original contract amount of \$19,100. Funding for this project was approved in the 2015-16 Operating Budget.

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
AssetWorks	All	\$8,560.00
TOTAL:		\$8,560.00

BASIS FOR AWARD:

Change Order

Submitted by:

Reviewed by:

Gary L. Holcomb, CPPO, C.P.M.
Director of Procurement

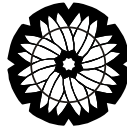
Bryan L. Bradford
City Manager

Date: 04/08/16

Date: 04/13/16

FINANCIAL SUMMARY:

Total Project/Account: \$	3,847,156	Operating Budget: <input checked="" type="checkbox"/>	CIP: <input type="checkbox"/>	Year: 2015-16
Expended/Encumbered to Date:	2,731,570	Document Location:	Page 232	
Balance: \$	1,115,586	Account #:	411-4511-7101	
This Item:	8,560	Fund/Agency/Project – Description:	Information Technology / Administration	
Proposed Balance: \$	1,107,026	Comments:		
Andrew Larkin	04/11/16			
Budget Analyst	Date			
Ron Young	04/11/16			
Budget Director	Date			



GARLAND

PURCHASING

Executive Summary **Bid 5763-15** **AssetWorks FASuite Software Upgrade**

Recommended Vendor:

AssetWorks

Total Recommended Award:

\$8,560.00

Basis for Award:

Change Order

Purpose:

The purpose of this Change Order is to provide additional services, support, and training required to successfully complete the AssetWorks FASuite upgrade. Fleet Services uses the FASuite program to manage the City's fleet vehicles. These additional requirements were discovered during the implementation of the upgrade. This Change Order represents a 44% increase to the original contract amount of \$19,100.

Evaluation:

AssetWorks is the approved vendor for the FASuite product line and is the sole source of ongoing support and maintenance for the product.

Recommendation:

Staff recommends the approval of Change Order #1 to PO 23413.

Funding Information:

411-4511-7101

Department Director:

Steven Niekamp, Chief Information Officer, 972-781-7205



GARLAND
PURCHASING

Bid No.: 6313-16
Agenda Item: 2b
Meeting: Council
Date: 04/19/16

Purchasing Report

WATER AND SEWER IMPROVEMENTS OPEN MARKET

PURCHASE JUSTIFICATION:

The purpose of this contract is to provide Water and Sewer Improvements at South Country Club Road and Wendell Way. Improvements include approximately 3,670 linear feet of 24" water line, approximately 800 linear feet of 12" water line, approximately 150 linear feet of 8" water line, and approximately 1,200 linear feet of 8" sanitary sewer line. All work will be performed in accordance with the vendor's unit pricing. This project was approved in the 2016 Capital Improvement Program (CIP), and actual expenditures will not exceed the amount approved in the 2016 CIP.

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
Tiseo Paving Company, Inc.	All	\$3,347,525.65
TOTAL:		\$3,347,525.65

BASIS FOR AWARD:

Lowest Responsible Bid

Submitted by:

Reviewed by:

Gary L. Holcomb, CPPO, C.P.M.
Director of Procurement

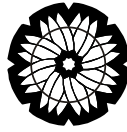
Bryan L. Bradford
City Manager

Date: 04/08/16

Date: 04/13/16

FINANCIAL SUMMARY:

Total Project/Account: \$ 5,714,308		Operating Budget: <input type="checkbox"/> CIP: <input checked="" type="checkbox"/> Year: 2016
Expended/Encumbered to Date: 103,111		Document Location: Pages W11 & WW05
Balance: \$ 5,611,197		Account #: 220-4049-3021600-9213 230-4149-3214900-9305
This Item: 3,347,526		
Proposed Balance: \$ 2,263,671		Fund/Agency/Project – Description: Water Commercial Paper / Country Club Road Water Transmission Mains Wastewater Commercial Paper / Collection Mains Comments: Approval of this request will commit funds scheduled for inclusion in the 2017 CIP. However, actual expenditures will not exceed the 2016 CIP.
Matt Watson	04/12/16	
Budget Analyst	Date	
Ron Young	04/12/16	
Budget Director	Date	



GARLAND

PURCHASING

Executive Summary **Bid 6313-16** **Water and Sewer Improvements**

Recommended Vendor:

Tiseo Paving Company, Inc.

Total Recommended Award:

\$3,347,525.65

Basis for Award:

Lowest Responsible Bid

Purpose:

The purpose of this contract is to provide water and sewer improvements at South Country Club Road and Wendell Way. Improvements include construction of approximately 3,670 linear feet of 24" water line, approximately 800 linear feet of 12" water line, approximately 150 linear feet of 8" water line, and approximately 1,200 linear feet of 8" sanitary sewer line. Improvements also include pavement and sidewalk removal and replacement as well as all incidentals as shown in the approved plans.

Evaluation:

Requests for bids were issued in accordance with Purchasing procedures. Three (3) bids were received and evaluated. Tiseo Paving Company, Inc. offered the lowest overall bid and met all requirements of the specifications.

Recommendation:

Staff recommends awarding the contract to Tiseo Paving Company, Inc.

Funding Information:

227-4049-3021600-9213, 230-34149-3214900-9305

Department Director:

Michael C. Polocek, P.E., Director of Engineering, 972-205-2178



GARLAND
PURCHASING

Bid No.: 6354-16
Agenda Item: 2c
Meeting: Council
Date: 04/19/16

Purchasing Report

GP&L VEGETATION MANAGEMENT TERM CONTRACT

PURCHASE JUSTIFICATION:

The purpose of this contract is to provide Vegetation Management for Garland Power & Light's Transmission & Distribution systems. The quantities are estimated and may be more or less based on actual needs. All work will be performed in accordance with the vendor's unit pricing. This will be a Term Contract with four (4) optional renewals. Funding for this purchase was approved in the 2015-16 Operating Budget and the 2016 Capital Improvement Program (CIP).

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
Asplundh Tree Expert Co.	All	\$1,000,000.00

TOTAL: \$1,000,000.00

BASIS FOR AWARD:

Best Value

Submitted by:

Reviewed by:

Gary L. Holcomb, CPPO, C.P.M.
Director of Procurement

Bryan L. Bradford
City Manager

Date: 04/08/16

Date: 04/13/16

FINANCIAL SUMMARY:

Total Project/Account: \$ N/A

Expended/Encumbered to Date: N/A

Balance: \$ N/A

This Item: 1,000,000

Proposed Balance: \$ N/A

Trent Schulze 04/11/16

Budget Analyst Date

Ron Young 04/11/16

Budget Director Date

Operating Budget – FY 2015-16

Operating Budget: ☒ CIP: ☒ Year: CIP – 2016

Document Location: Oper.- p. 210; CIP - pp. E01 & E07

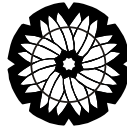
Account #: 451-6999

Fund/Agency/Project – Description:

Term Contract – Electric Operations Budget
Electric CIP Budget

Comments:

Term Contract sets price but does not commit funds. Expenses will be charged to accounts as incurred.



GARLAND

PURCHASING

Executive Summary Bid 6354-16 GP&L Vegetation Management

Recommended Vendor:

Asplundh Tree Expert Co.

Total Recommended Award:

\$1,000,000.00

Basis for Award:

Best Value

Purpose:

The purpose of this contract is to provide vegetation management for Garland Power & Light's Transmission & Distribution systems. This will be a term contract with four (4) optional renewals.

Evaluation:

Requests for bids were issued in accordance with Purchasing procedures. Four (4) bids were received and evaluated based on the published criteria of: price; safety and training policies; availability of resources; professionalism; reputation in the industry; pre bid meeting attendance. Asplundh Tree Expert Co. received the highest evaluated score, offering the best value for the City.

Recommendation:

Staff recommends awarding the contract to Asplundh Tree Expert Co.

Funding Information:

211-3241-711126; 211-3523-711126; 215-3299-3153201-7111

Department Director:

Ross Owen, Transmission & Distribution Director, 972-205-3532



GARLAND
PURCHASING

Bid No.: 6456-16
Agenda Item: 2d
Meeting: Council
Date: 04/19/16

Purchasing Report

HYDRO EXCAVATION TRUCK OPEN MARKET

PURCHASE JUSTIFICATION:

The purpose of this contract is to purchase one (1) Hydro Excavation Truck to be used by the Water Department in their daily operations. This truck is being purchased through the BuyBoard Purchasing Cooperative Contract 430-13. Funding was approved in the 2016 Capital Improvement Program (CIP).

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
Rush Truck Center	1	\$396,212.50
TOTAL:		<u>\$396,212.50</u>

BASIS FOR AWARD:

Cooperative Purchase

Submitted by:

Reviewed by:

Gary L. Holcomb, CPPO, C.P.M.
Director of Procurement

Bryan L. Bradford
City Manager

Date: 04/08/16

Date: 04/13/16

FINANCIAL SUMMARY:

Total Project/Account: \$ 400,000
Expended/Encumbered to Date: -0-
Balance: \$ 400,000
This Item: 396,213
Proposed Balance: \$ 3,787

Matt Watson 04/12/16
Budget Analyst Date

Ron Young 04/12/16
Budget Director Date

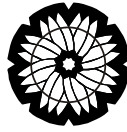
Operating Budget: ☐ CIP: ☒ Year: 2016

Document Location: Page W14

Account #: 225-4049-3023400-9007

Fund/Agency/Project – Description:
Water Cash-Funded CIP / Water Utility Equipment

Comments:



GARLAND

PURCHASING

Executive Summary
Bid 6456-16
Hydro Excavation Truck

Recommended Vendor:

Rush Truck Center

Total Recommended Award:

\$396,212.50

Basis for Award:

Cooperative Purchase

Purpose:

The purpose of this contract is to purchase a Hydro Excavation Truck to be used by the Water Department in their daily operations.

Evaluation:

This truck is being provided by Rush Truck Center through the BuyBoard Purchasing Cooperative Contract 430-13.

Recommendation:

Staff recommends awarding the contract for the Hydro Excavation Truck to Rush Truck Center.

Funding Information:

225-4049-3023400-9007

Department Director:

Terry Anglin, Fleet Director, 972-205-3524



GARLAND
PURCHASING

Bid No.: 6460-16
Agenda Item: 2e
Meeting: Council
Date: 04/19/16

Purchasing Report

FLEET REPLACEMENT VEHICLES OPEN MARKET

PURCHASE JUSTIFICATION:

This request is for the purchase of five (5) SUVs and Pickup Trucks to be used by various City departments in their daily operations. These vehicles are being purchased through the BuyBoard Purchasing Cooperative Contract 430-13. Funding is provided through the Equipment Replacement Fund and the 2015-16 Operating Budget.

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
Caldwell Country Ford	All	\$117,876.56

TOTAL: \$117,876.56

BASIS FOR AWARD:

Cooperative Purchase

Submitted by:

Gary L. Holcomb, CPPO, C.P.M.
Director of Procurement

Reviewed by:

Bryan L. Bradford
City Manager

Date: 04/08/16

Date: 04/13/16

FINANCIAL SUMMARY:

Total Project/Account: \$ 126,115

Expended/Encumbered to Date: -0-

Balance: \$ 126,115

This Item: 117,877

Proposed Balance: \$ 8,238

Matt Watson 04/12/16

Budget Analyst Date

Ron Young 04/12/16

Budget Director Date

Operating Budget: ☒ CIP: ☐ Year: 2015-16

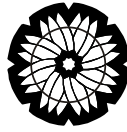
Document Location: Pages 92 & 120

Account #: 444-1245-9009
444-4032-9009
444-4693-9009
231-4124-9009

Fund/Agency/Project – Description:
Equipment Replacement Fund (ERF) –
Police, Water, and Street Departments
Wastewater Utility Fund – Lift Stations

Comments:

CITY OF GARLAND - BID RECAP SHEET OPENED: 04/08/16 REQ. NO. PR 36146 BID NO. 6460-16 PAGE: 1 of 1 BUYER: T. Smith				Caldwell Country Ford							
ITEM	QTY	UNIT	DESCRIPTION	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
			Fleet Replacement Vehicles								
1	1	ea.	New, 2016 Ford F-150 pickup, regular cab, 4x2, 3.5 L FFV V6, Per COG Specifications.	\$23,803.56	\$23,803.56						
2	1	ea.	New, 2017 S Model, Ford Escape, 4 door, Per COG Specifications.	\$20,728.00	\$20,728.00						
3	1	ea.	New, 2016 Ford Explorer, 3.5 L; V6, per COG Specifications.	\$28,715.00	\$28,715.00						
4	1	ea.	New, 2017 Ford Escape, Per COG Specifications.	\$21,120.00	\$21,120.00						
5	1	ea	New, 2016 Chevrolet Silverado 1500, 4x2, pickup, double cab, 5.3L-V, 6 spd auto, per COG Specifications.	\$23,110.00	\$23,110.00						
6	1	ea.	Buyboard Fee	\$400.00	\$400.00						
			TOTAL GROSS PRICE	\$117,876.56							
			CASH DISCOUNT								
			TOTAL NET PRICE	\$117,876.56							
			F.O.B.	DELIVERED		DELIVERED		DELIVERED		DELIVERED	
			DELIVERY								
NEXT LOW: LOW: _____ SAVINGS: \$0.00				N/A # IonWave Notifications N/A # IonWave HUBS N/A # Direct Contact HUBS N/A # HUBS Responded		All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.					



GARLAND

PURCHASING

Executive Summary Bid 6460-16 Fleet Replacement Vehicles

Recommended Vendor:

Caldwell Country Ford

Total Recommended Award:

\$117,876.56

Basis for Award:

Cooperative Purchase

Purpose:

The purpose of this contract is to purchase five (5) SUV's and Pickup Trucks to be used by various City departments in their daily operations.

Evaluation:

These vehicles are being provided by Caldwell Country Ford through the BuyBoard Purchasing Cooperative Contract 430-13.

Recommendation:

Staff recommends awarding the purchase of these SUV's and Pickup Trucks to Caldwell Country Ford.

Funding Information:

444-4693-9009, 231-4124-9009, 444-4032-9009, 444-1245-9009

Department Director:

Terry Anglin, Fleet Director, 972-205-3524



City Council Item Summary Sheet

☐ Work Session

Date: April 19, 2016

☒ Agenda Item

Item 3a - Zoning Ordinance

Summary of Request/Problem

Zoning Ordinance Z 16-04 Charlie Shearer

Recommendation/Action Requested and Justification

Consider adoption of attached ordinance.

Submitted By:

Will Guerin
Director of Planning

Approved By:

Bryan L. Bradford
City Manager

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE ZONING LAWS OF THE CITY OF GARLAND, TEXAS, BY APPROVING A SPECIFIC USE PROVISION FOR PERSONAL SERVICES ON A 0.3454-ACRE TRACT OF LAND ZONED PLANNED DEVELOPMENT (PD) DISTRICT 14-36 FOR NEIGHBORHOOD OFFICE USES WITH RETAIL STORE/PERSONAL SERVICES ALLOWED BY SPECIFIC USE PROVISION ONLY AND LOCATED AT 1234 THOMASVILLE COURT; PROVIDING FOR CONDITIONS, RESTRICTIONS, AND REGULATIONS; PROVIDING A PENALTY UNDER THE PROVISIONS OF SEC. 10.05 OF THE CODE OF ORDINANCES OF THE CITY OF GARLAND, TEXAS; PROVIDING A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, at its regular meeting held on the 14th day of March, 2016, the City Plan Commission did consider and make recommendations on a certain request for approval of a Specific Use Provision made by **Charlie Shearer**; and

WHEREAS, the City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the zoning laws would provide for and would be in the best interest of the health, safety, morals, and general welfare:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS, THAT:

Section 1

The Garland Development Code is hereby amended by approving a Specific Use Provision for Personal Services on a 0.3454-acre tract of land zoned Planned Development (PD) District 14-36 for Neighborhood Office Uses with Retail Store/Personal Services allowed by Specific Use Provision only and located at 1234 Thomasville Court and being more particularly described in Exhibit A, attached hereto and made a part hereof.

Section 2

Development shall be in conformance with the conditions, restrictions, and regulations set forth in Exhibit B, attached hereto and made a part hereof.

Section 3

That a violation of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances, City of Garland, Texas.

Section 4

That the Garland Development Code, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

Section 5

That the terms and provisions of this Ordinance are severable and are governed by Sec. 10.06 of the Code of Ordinances of the City of Garland, Texas.

Section 6

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

PASSED AND APPROVED this _____ day of _____, 2016.

CITY OF GARLAND, TEXAS

Mayor

ATTEST:

City Secretary

Published:

EXHIBIT A

LEGAL DESCRIPTION

Zoning File 16-04

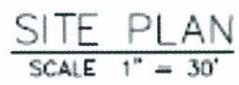
BEING APPROXIMATELY A 0.3454-ACRE TRACT OF LAND AND IDENTIFIED AS LOT 7, BLOCK 1, CAMPBELL CROSSING OFFICE PARK, AN ADDITION TO THE CITY OF GARLAND AS SHOWN ON THE PLAT RECORDED IN INSTRUMENT NO. 20070287500 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS. THE PROPERTY IS LOCATED AT 1234 THOMASVILLE COURT, GARLAND, TX.

SPECIFIC USE PROVISION CONDITIONS

ZONING FILE Z 16-04

1234 Thomasville Court

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to permit a Personal Service subject to conditions.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Neighborhood Office (NO) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.
- V. Specific Regulations:**
- A. Time Period: The Specific Use Provision shall be in effect for period of 30 years.
- B. Site Plan: Development shall be in general conformance with the site plan labeled Exhibit C.
- C. Elevations: Building elevations shall be in general conformance with the elevations labeled Exhibit D.
- D. Building Height: The maximum building height for a pitched-roofed building is 26 feet.

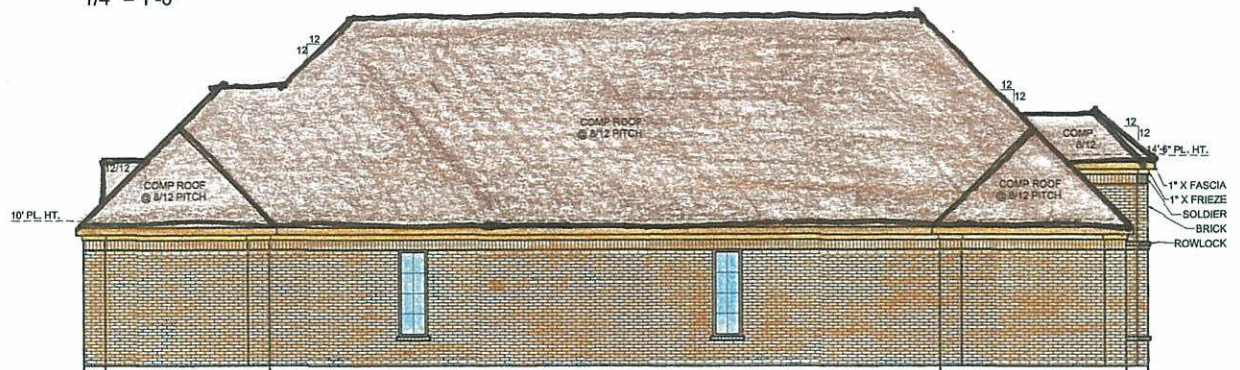




MATERIAL PERCENTAGE
BRICK 85%
STUCCO 15%

FRONT ELEVATION

1/4" = 1'-0"



MATERIAL PERCENTAGE
BRICK 100%

REAR ELEVATION

1/4" = 1'-0"

SALON AT CAMPBELL CROSSING
LOT: 7 OF CAMPBELL CROSSING ADDITION
GARLAND, TEXAS

Shearer Design & Associates

Contact at:

charlie@shearerdassociates.com

214.497.5466 / 903.462.0214



DATE: 3.1.16

SHEET: A4.0

EXHIBIT D

VAR 4 2016 4/10/2016



RIGHT SIDE ELEVATION
1/8" = 1'-0"



LEFT SIDE ELEVATION
1/8" = 1'-0"

Architectural Elements

These elements are included in the facade design of this building:

1. Awnings or canopies
2. Divided light windows
3. Alcoves/ porticos
4. Dormers
5. Varied roof heights
6. Gable windows
7. Ornamental window headers
8. Ornamental facade trims

SALON AT CAMPBELL CROSSING
LOT: 7 OF CAMPBELL CROSSING ADDITION
GARLAND, TEXAS

Shearer Design & Associates
Contact at:
charlie@shearerdesignassociates.com
214.497.5466 / 903.462.0214



DATE: 3.1.16
SHEET: A4.1



City Council Item Summary Sheet

☐ Work Session

Date: April 19, 2016

☒ Agenda Item

Item 3b - Zoning Ordinance

Summary of Request/Problem

Zoning Ordinance Z 16-07 IDI Gazeley

Recommendation/Action Requested and Justification

Consider adoption of attached ordinance.

Submitted By:

Will Guerin
Director of Planning

Approved By:

Bryan L. Bradford
City Manager

ORDINANCE NO.

AN ORDINANCE AMENDING THE ZONING LAWS OF THE CITY OF GARLAND, TEXAS, BY APPROVING 1) AN AMENDMENT TO PLANNED DEVELOPMENT (PD) DISTRICT 92-21 FOR INDUSTRIAL USES AND 2) A CONCEPT PLAN FOR THE DEVELOPMENT OF A WAREHOUSE, OFFICE/SHOWROOM (INDOOR) BUILDING ON PROPERTY ZONED PD 92-21 FOR INDUSTRIAL USES ON A 25.41-ACRE TRACT OF LAND LOCATED AT THE NORTHEAST INTERSECTION OF LEON ROAD AND TOWNGATE DRIVE. PROVIDING FOR CONDITIONS, RESTRICTIONS, AND REGULATIONS; AND PROVIDING FOR A PENALTY AND AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on the 14th day of March 14, 2016, the City Plan Commission did consider and make recommendations on a certain request for zoning change made by **IDI Gazeley**; and

WHEREAS, The City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the zoning laws would provide for and would be in the best interest of the health, safety, morals, and general welfare:

Now, therefore, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS, that:

Section 1.

Ordinance No. 6773 is hereby amended by approving 1) an amendment to Planned Development (PD) District 92-21 for Industrial Uses and 2) a Concept Plan for the development of a Warehouse, Office/Showroom (Indoor) building on property zoned PD 92-21 for Industrial Uses.

Section 2.

Development shall be in conformance with the conditions, restrictions, and regulations set forth in Exhibit B, attached hereto and made a part hereof.

Section 3.

Ordinance No. 6773, as amended, shall remain in full force and effect, save and except as amended by this Ordinance.

Section 4.

FILE NO. 16-07

Violation of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances, City of Garland, Texas.

Section 5.

This Ordinance shall become and be effective on and after its adoption and publication as required by law.

PASSED AND APPROVED this _____ day of _____, 2016.

THE CITY OF GARLAND, TEXAS

By:

Mayor

ATTEST:

City Secretary

Published:

EXHIBIT A

LEGAL DESCRIPTION

ZONING FILE 16-07

BEING a tract of land situated in the John Casey Survey, Abstract No. 351, the John Casey Survey, Abstract No. 350, and the John T. Corcoran Survey, Abstract No. 348, City of Garland, Dallas County, Texas, being all of Lot 3A, Block 1, Garland Road Business Park Addition, an addition to the City of Garland, Dallas County, Texas as recorded in Volume 98216, Page 118, Deed Records, Dallas County, Texas (DRDCT) and as described in deed to Leon Drive, LP, recorded in County Clerks File No. 200503571221, Official Public Records, Dallas County, Texas, being all of that called 25.41 acre tract land as described in deed to Leon Drive, LP, recorded in Volume 2004097, Page 14063, DRDCT.

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 16-07

Northeast intersection of Leon Road and Towngate Drive

- I. Statement of Purpose:** The purpose of this Planned Development is to permit the development of a Warehouse, Office/Showroom (Indoor).
- II. Statement of Effect:** This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Industrial (IN) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. Development Plans:**

Concept Plan: Development shall be in general conformance with the Concept Plan set forth in Exhibit C. The Concept Plan shall be construed to be an illustration of the development concepts only and not an exact representation of the specific development proposed. However, failure of a subsequent development application to generally conform to the approved Concept Plan (as applicable) will result in denial of the application. In the event of conflict between the Concept Plan and the written conditions, the written conditions shall apply. No Detail Plan shall be required subsequent to the approval of the Concept Plan.

- V. Specific Regulations:**

- A. Permitted Uses:** All uses as approved by Planned Development (PD) 92-21 Section III(C).
- B. Screening and Landscaping:** Screening of non-residential uses from adjacent residential uses shall meet the requirements of Chapter 4, Article 3 of the Garland Development Code with the following additional requirements:
 - 1. Non-residential yards adjacent to residential districts must provide a masonry wall eight (8) feet in height with tree plantings along the development side of the wall in accordance with

Section 4.39. The site must also provide a row of tree planting along the residential side of the wall in accordance with the Concept Plan labeled Exhibit C. Landscaping shall be in general conformance with the approved Concept Plan labeled Exhibit C.

- C. Site Design: The building shall be located as generally shown on the Concept Plan labeled Exhibit C. The building shall be located so the loading docks are oriented to the north.
- D. Setbacks: Setbacks shall be as generally shown on the Concept Plan labeled Exhibit C.
- E. Parking: All parking shall be in general conformance with the approved Concept Plan labeled Exhibit C.
- F. Height: The maximum permitted height for any building or structure shall be 42 feet. The upper portions of the building, meaning those portions above 35 feet in height, shall have no transparent glass.
- G. Maximum Lot Coverage: Buildings or structures or parts thereof shall not be erected, altered or placed so as to cover no more than 60% of the lot.
- H. Exterior Elevations: The exterior elevations of the building shall be provided as generally shown on the exterior elevations plans labeled Exhibit D.
- I. Lighting: Light sources must be of a down-light, indirect, diffused or shielded type (minimum seventy-degree cut-off when measured from horizontal), or installed and maintained in a manner to reduce glare effect and consequent interference with use of adjacent properties and streets. All lighting shall be subject to the lighting standards in Chapter 4, Article 7.
- J. Outside Storage: The outside storage of materials shall be prohibited.

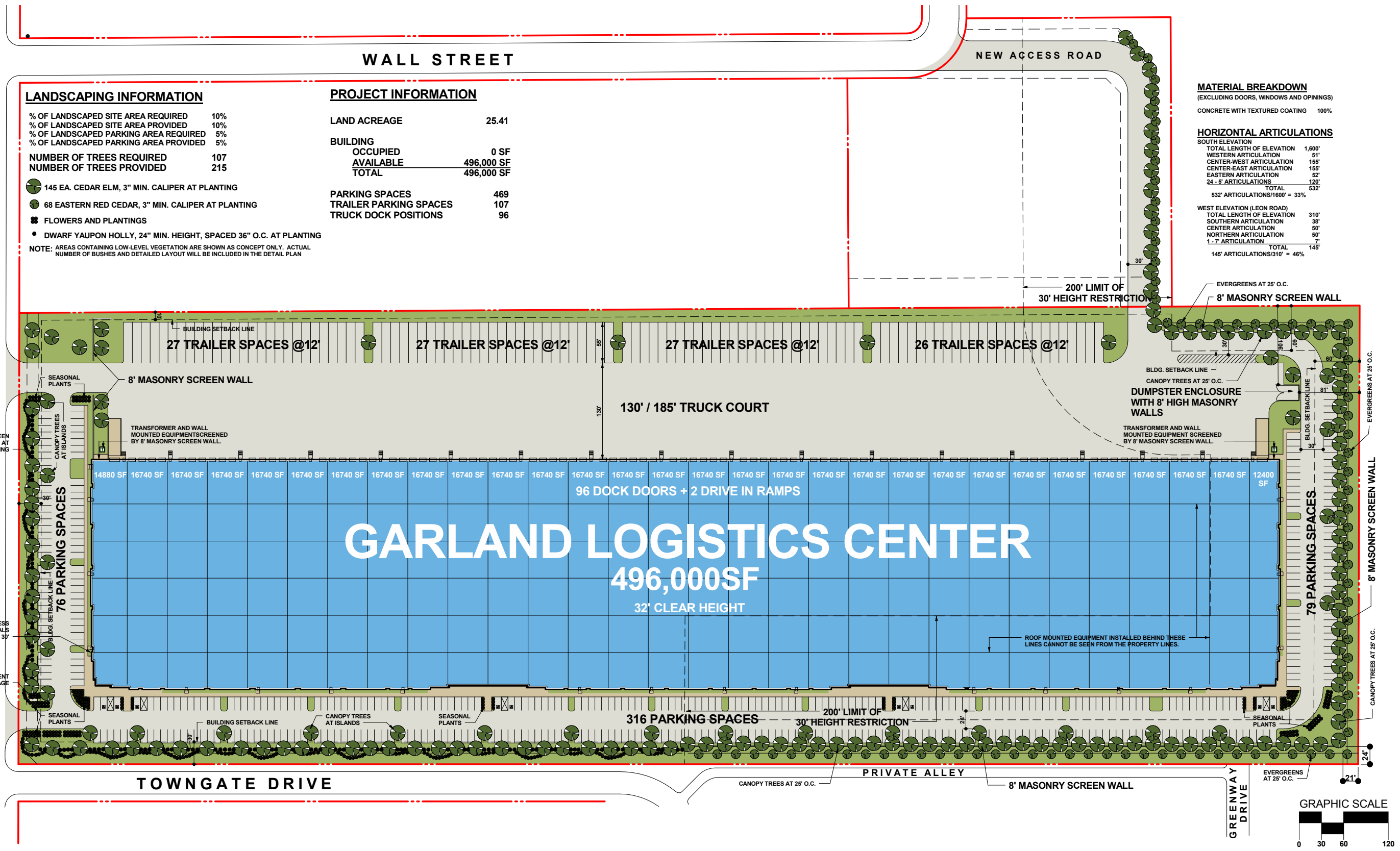


Exhibit C

MACGREGOR ASSOCIATES ARCHITECTS

Two Paces West
2727 Paces Ferry Road SE
Suite 1400
Atlanta, Georgia 30339
770-432-9400

Dallas Region
5420 LBJ Freeway
Suite 1275
Dallas, Texas 75240
972-560-7003

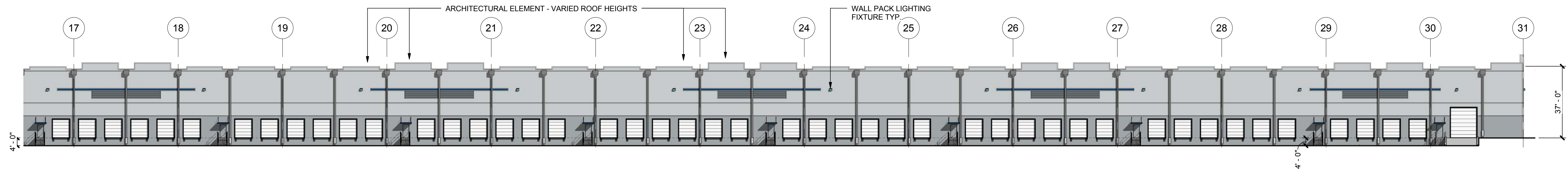
IDI Gazeley
Brookfield Logistics Properties

PROJECT NUMBER: 2015-184
SCALE: 1" = 60'-0"

GARLAND LOGISTICS CENTER
GARLAND, TEXAS

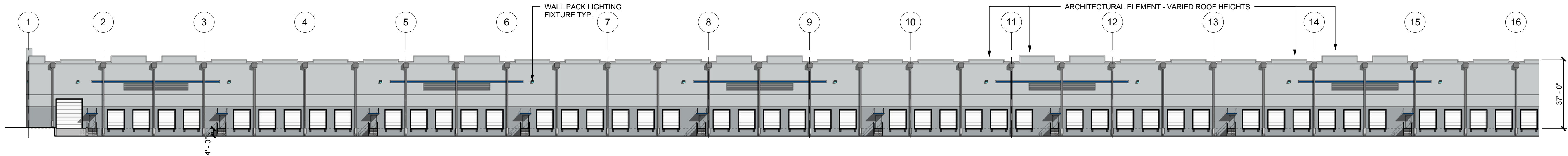
SP-B2
LANDSCAPE CONCEPT
03/04/16

Exhibit D



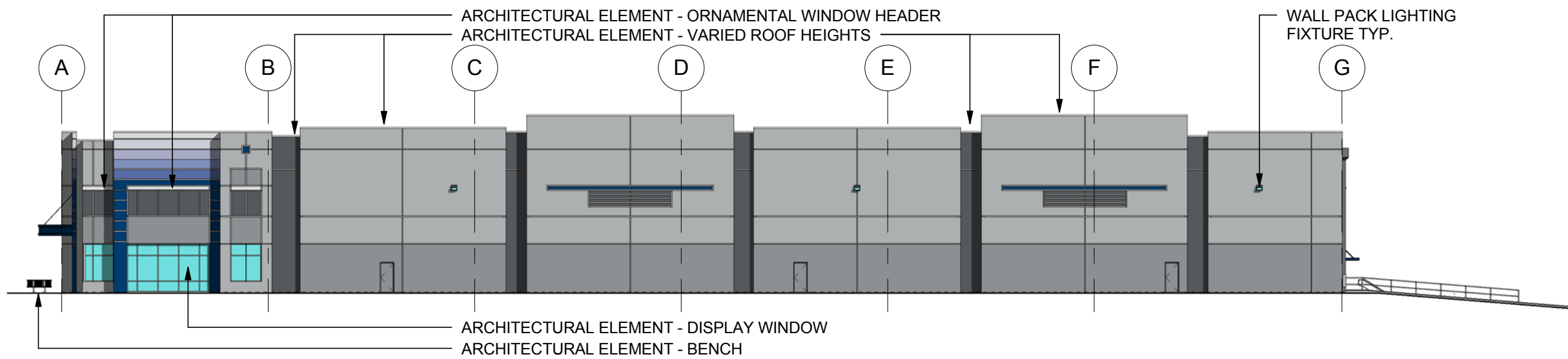
NORTH ELEVATION (WEST SIDE)

MATERIAL BREAKDOWN
(EXCLUDING DOORS, WINDOWS AND OPENINGS)
CONCRETE WITH TEXTURED COATING 100%



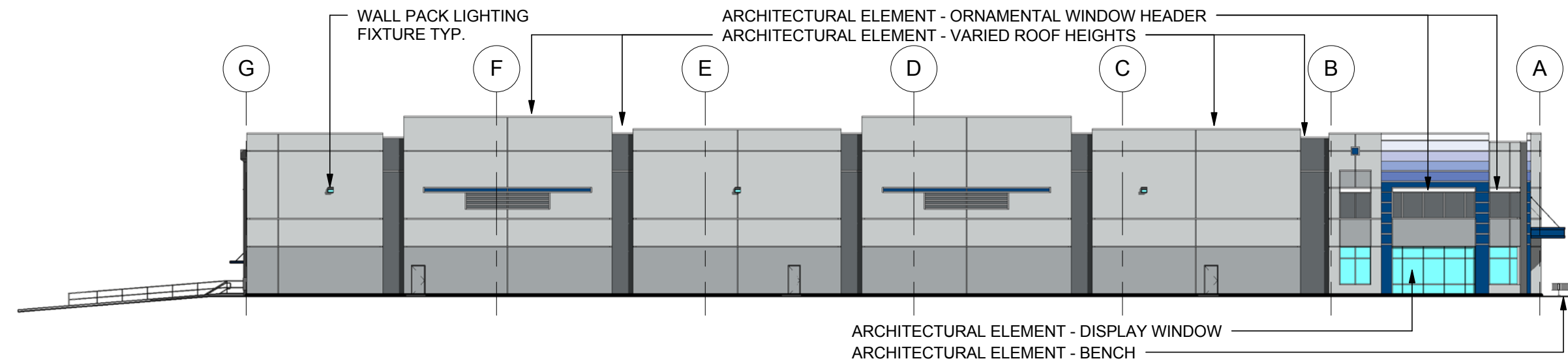
NORTH ELEVATION (EAST SIDE)

MATERIAL BREAKDOWN
(EXCLUDING DOORS, WINDOWS AND OPENINGS)
CONCRETE WITH TEXTURED COATING 100%



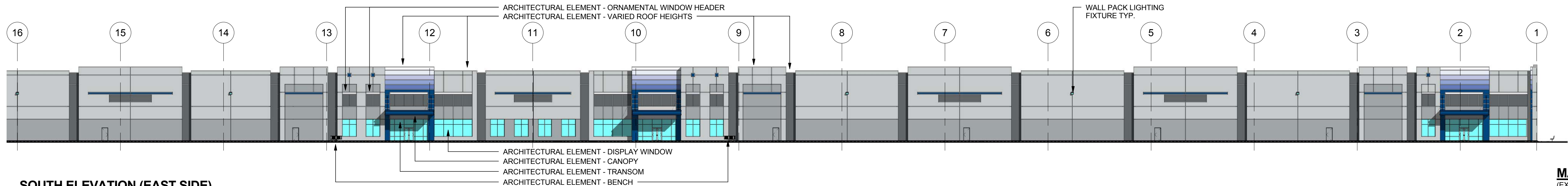
EAST ELEVATION

MATERIAL BREAKDOWN
(EXCLUDING DOORS, WINDOWS AND OPENINGS)
CONCRETE WITH TEXTURED COATING 100%



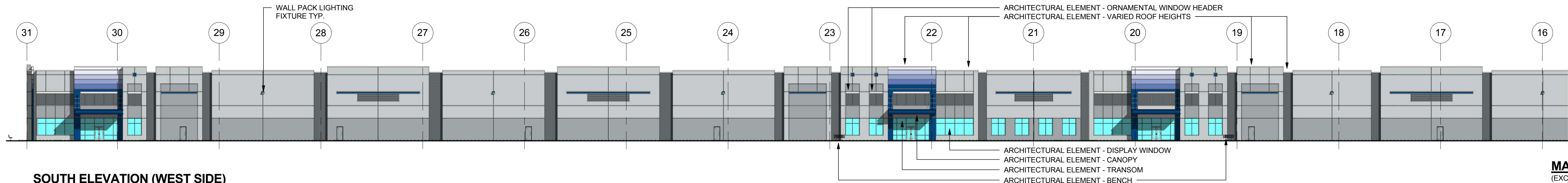
WEST ELEVATION

MATERIAL BREAKDOWN
(EXCLUDING DOORS, WINDOWS AND OPENINGS)
CONCRETE WITH TEXTURED COATING 100%



SOUTH ELEVATION (EAST SIDE)

MATERIAL BREAKDOWN
(EXCLUDING DOORS, WINDOWS AND OPENINGS)
CONCRETE WITH TEXTURED COATING 100%



SOUTH ELEVATION (WEST SIDE)

MATERIAL BREAKDOWN
(EXCLUDING DOORS, WINDOWS AND OPENINGS)
CONCRETE WITH TEXTURED COATING 100%



Two Paces West
2727 Paces Ferry Road SE
Suite 1400
Atlanta, Georgia 30339
770-432-9400

Dallas Region
5420 LBJ Freeway
Suite 1275
Dallas, Texas 75240
972-560-7003

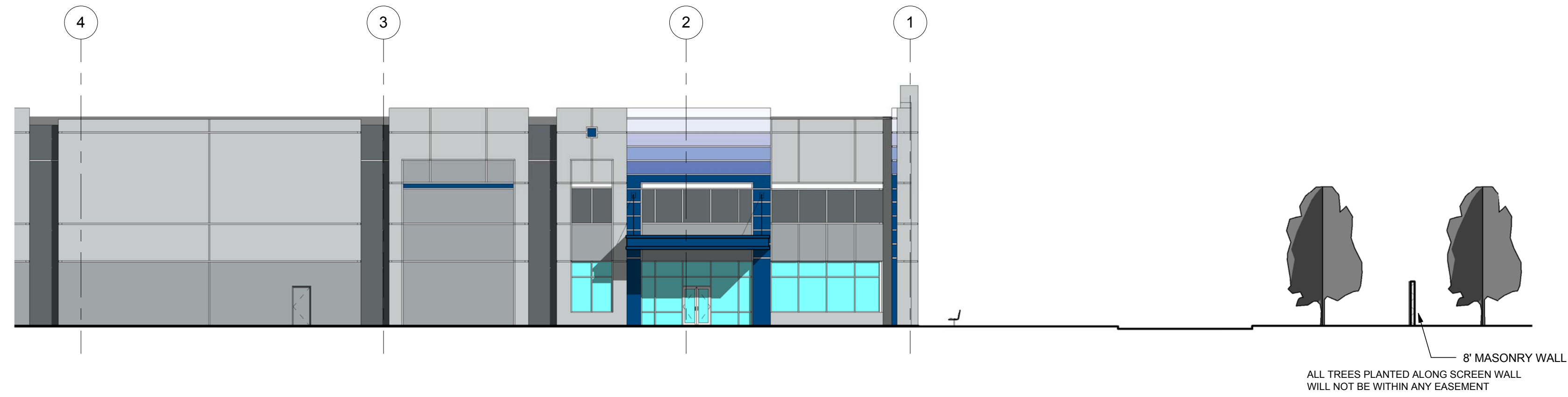
IDI Gazeley
Brookfield Logistics Properties

PROJECT NUMBER: 2015-184
SCALE: 1" = 30'-0"

GARLAND LOGISTICS CENTER
GARLAND TEXAS

EL-B2
EXTERIOR ELEVATIONS

03/28/16



SECTION





Meeting: Regular Meeting

Date: April 19, 2016

Policy Report

ITEM – 4 REQUEST APPROVAL OF A RESOLUTION TO PURCHASE LAND

Ten (10) Acres Located on State Highway 66: East of North Country Club Road

REQUEST

Approval of a resolution authorizing the City Manager to purchase a ten (10) acre tract of land located on State Highway 66 from the Texas Department of Transportation (TxDOT) for future development

OPTIONS

1. Approve staff recommendation to purchase the ten (10) acre tract of land located on State Highway 66 from the Texas Department of Transportation (TxDOT) for future development
2. Not approve the land purchase

RECOMMENDATION

Staff recommends that the City of Garland purchase the ten (10) acre tract on State Highway 66 from the Texas Department of Transportation (TxDOT). With few industrial sites of this size available for development, staff recognizes this parcel as a great site for future industrial development.

COUNCIL GOAL

Sustainable Quality Development and Redevelopment

BACKGROUND

The City of Garland was notified by the Texas Department of Transportation (TxDOT) on October 28, 2015 that the subject ten (10) acre property located on State Highway 66 is no longer needed for that agency's purposes and that they intended to liquidate the asset. In accordance with Texas Transportation Code, Section 202.021,

REQUEST FOR LAND PURCHASE

Page 2

governmental entities with the authority to condemn real property have a priority right to purchase the property from TxDOT. At the February 2, 2016 Executive Session of the City Council, staff recommended that the City explore and ultimately consider purchasing the property for future development. The Texas Transportation Commission passed Minute Order 114517 on February 25, 2016 approving the sale of the subject property to the City of Garland in an amount of \$1,524,600 plus \$3,600 in appraisal costs. The total proposed purchase price is \$1,528,200.

CONSIDERATION

1. Controlling this site for future development is in the long-term interests of the City.
2. Garland would benefit from having this property developed for an industrial use.
3. When the property is transferred to a new owner for development, the identified purchaser will reimburse the City for any expenditures incurred as a result of the purchase.
4. Staff conducted price analysis on the property and while at the higher end of the spectrum, the \$1,528,200 purchase price is deemed reasonable.

ATTACHMENTS

- A- Resolution
- B- Deed without Warranty

Submitted By:

David Gwin, AICP, CEcD
Director of Economic Development

Date: April 14, 2016

Approved By:

Bryan L. Bradford
City Manager

Date: April 14, 2016

REQUEST FOR LAND PURCHASE

Page 3



RESOLUTION NO. _____

A RESOLUTION AUTHORIZING THE CITY MANAGER TO ENTER INTO A REAL PROPERTY TRANSACTION WITH THE STATE OF TEXAS (TXDOT) FOR THE PURCHASE OF A 10.00 ACRE TRACT OF LAND LOCATED IN AND AROUND STATE HIGHWAY 66, EAST OF N. COUNTRY CLUB ROAD; AND PROVIDING AN EFFECTIVE DATE.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS:

Section 1

That the City Manager is hereby authorized to enter into a real property transaction with the State of Texas (TXDOT) to acquire approximately 10 acres of land, as more particularly described in the deed without warranty attached hereto as Exhibit "A", for the purchase price of \$1,528,200.

Section 2

That this Resolution shall be and become effective immediately upon and after its adoption and approval.

PASSED AND APPROVED this the ____ day of _____, 2016.

CITY OF GARLAND, TEXAS

Mayor

ATTEST:

City Secretary

EXHIBIT A

DEED WITHOUT WARRANTY

COPY

STATE OF TEXAS §
 §
COUNTY OF DALLAS §

SH 66
RCSJ 0009-03-044
Tract 1

THE STATE OF TEXAS, acting through the Texas Transportation Commission and on behalf of the Texas Department of Transportation, hereinafter referred to as Grantor, pursuant to Minute Order 114517 passed by the Texas Transportation Commission on February 25, 2016, as shown by the official minutes of the Texas Transportation Commission, in consideration of the sum of ONE MILLION FIVE HUNDRED TWENTY-FOUR THOUSAND SIX HUNDRED AND NO/100 DOLLARS (\$1,524,600.00) to Grantor in hand paid by the CITY OF GARLAND, TEXAS, hereinafter referred to as Grantee, whether one or more, the receipt and sufficiency of which is hereby acknowledged and confessed and for which no lien is retained, either express or implied, has this day Sold and by these presents does Grant, Bargain, Sell, and Convey unto Grantee all of Grantor's right, title, and interest in and to that certain tract or parcel of land situated in Dallas County, Texas, said land being more particularly described in Exhibit A, attached hereto and made a part hereof; **SAVE AND EXCEPT**, however, there is excepted and reserved herefrom all of Grantor's right, title and interest, if any, in and to all of the oil, gas, sulphur, and other minerals, of every kind and character, in, on, under, and that may be produced from the property described in Exhibit A, but Grantor waives all rights of ingress and egress to the surface thereof for the purpose of exploring, developing, mining, or drilling for same, provided, however, that operations for exploration or recovery of any such minerals shall be permissible so long as all surface operations in connection therewith are located at a point outside of said property.

Anything herein to the contrary notwithstanding, this conveyance is made subject to the rights of any and all existing public utilities or common carriers in accordance with V.T.C.A., Transportation Code, Chapter 202, Subchapter B, Section 202.029. Any required adjustment will be at no cost to Grantor. In addition, this conveyance is subject to all matters of public record and to all easements, leases, agreements, or licenses, or other interests which affect the property, and to any matter which would be disclosed by title examination, survey, investigation, or inquiry, including but not limited to the rights of parties in possession.

BY THE ACCEPTANCE OF THIS DEED, GRANTEE ACKNOWLEDGES AND AGREES THAT GRANTEE HAS THOROUGHLY INSPECTED AND EXAMINED THE PROPERTY TO THE EXTENT DEEMED NECESSARY BY THE GRANTEE IN ORDER TO ENABLE THE GRANTEE TO EVALUATE THE PURCHASE OF THE PROPERTY. GRANTEE REPRESENTS THAT GRANTEE IS RELYING SOLELY ON GRANTEE'S OWN EXPERTISE AND THAT OF ITS CONSULTANTS, AND THAT GRANTEE HAS CONDUCTED SUCH INSPECTIONS AND INVESTIGATIONS OF THE PROPERTY, INCLUDING, BUT NOT LIMITED TO, THE PHYSICAL AND ENVIRONMENTAL CONDITIONS THEREOF, AND IS RELYING UPON SAME, AND HEREBY ASSUMES THE RISK OF ANY ADVERSE MATTERS, INCLUDING, BUT NOT LIMITED TO, ADVERSE PHYSICAL AND ENVIRONMENTAL CONDITIONS THAT MAY NOT HAVE BEEN REVEALED BY GRANTEE'S INSPECTIONS AND INVESTIGATIONS. GRANTEE FURTHER ACKNOWLEDGES AND AGREES THAT GRANTEE IS ACQUIRING THE PROPERTY ON AN "AS IS, WHERE IS" AND "WITH ALL FAULTS" BASIS, WITHOUT REPRESENTATIONS, WARRANTIES OR COVENANTS, EXPRESS OR IMPLIED, OF ANY KIND OR NATURE. GRANTEE HEREBY WAIVES AND RELINQUISHES ALL RIGHTS AND PRIVILEGES ARISING OUT OF, OR WITH RESPECT OR IN RELATION TO, ANY REPRESENTATIONS, WARRANTIES OR COVENANTS, WHETHER EXPRESS OR

IMPLIED, WHICH MAY HAVE BEEN MADE OR GIVEN, OR WHICH MAY HAVE BEEN DEEMED TO HAVE BEEN MADE OR GIVEN, BY GRANTOR. GRANTEE HEREBY ASSUMES ALL RISK AND LIABILITY (AND AGREES THAT GRANTOR SHALL NOT BE LIABLE FOR ANY SPECIAL, DIRECT, INDIRECT, CONSEQUENTIAL OR OTHER DAMAGES) RESULTING OR ARISING FROM GRANTEE'S USE, MAINTENANCE, REPAIR, OR OPERATION OF THE PROPERTY.

WITHOUT LIMITING THE GENERAL PROVISIONS ABOVE, IT IS UNDERSTOOD AND AGREED THAT GRANTOR IS NOT MAKING AND SPECIFICALLY DISCLAIMS ANY WARRANTIES OR REPRESENTATIONS OF ANY KIND OR CHARACTER, EXPRESS OR IMPLIED, AS TO (a) MATTERS OF TITLE; (b) ZONING; (c) TAX CONSEQUENCES; (d) PHYSICAL OR ENVIRONMENTAL CONDITIONS; (e) AVAILABILITY OF ACCESS, INGRESS OR EGRESS; (f) OPERATING HISTORY OR PROJECTIONS; (g) VALUATION; (h) AVAILABILITY AND ADEQUACY OF UTILITIES; (i) GOVERNMENTAL APPROVALS; (j) GOVERNMENTAL REGULATIONS OR ANY OTHER MATTER OR THING RELATING TO OR AFFECTING THE PROPERTY, INCLUDING, WITHOUT LIMITATION: (1) THE VALUE, CONDITION, MERCHANTABILITY, MARKETABILITY, PROFITABILITY, SUITABILITY, OR FITNESS OF THE PROPERTY FOR A PARTICULAR USE OR PURPOSE; (2) THE MANNER OR QUALITY OF THE CONSTRUCTION OR MATERIALS, IF ANY, INCORPORATED INTO ANY OF THE PROPERTY; AND (3) THE MANNER, QUALITY, STATE OF REPAIR OR LACK OF REPAIR OF THE PROPERTY. GRANTEE FURTHER EXPRESSLY ACKNOWLEDGES AND AGREES THAT GRANTOR IS NOT REPRESENTING OR WARRANTING THAT ANYTHING CAN OR WILL BE ACCOMPLISHED THROUGH GRANTEE'S OR GRANTOR'S EFFORTS WITH REGARD TO THE PLANNING, PLATTING OR ZONING PROCESS OF ANY GOVERNMENTAL AUTHORITIES, BOARDS OR ENTITIES. GRANTEE FURTHER ACKNOWLEDGES THAT GRANTOR HAS NOT WARRANTED, AND DOES NOT HEREBY WARRANT, THAT THE PROPERTY NOW OR IN THE FUTURE WILL MEET OR COMPLY WITH THE REQUIREMENTS OF ANY SAFETY CODE, ENVIRONMENTAL LAW OR REGULATION OF ANY STATE OR FEDERAL AUTHORITY OR JURISDICTION.

This Deed without Warranty is expressly made by Grantor and accepted by Grantee without any warranty of title of any kind, oral or written, express or implied, whether existing by common law or by statute or any other manner. Grantee expressly agrees that the implied covenants set forth in Section 5.023 of the Texas Property Code are not applicable to this Deed without Warranty.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in any wise belonging unto said Grantee and Grantee's heirs, successors, and/or assigns forever, subject to the reservations and exceptions described herein.

IN TESTIMONY WHEREOF, I have caused the Seal of the State to be affixed.

Executed this the _____ day of _____, 2016.

GREG ABBOTT
GOVERNOR OF TEXAS

Recommended for Approval:

James M. Bass
Executive Director

Attest:

Carlos Cascos
Secretary of State

Approved:

Ken Paxton
Attorney General

By: _____
Garland Williams
Assistant Attorney General

NOTE TO COUNTY CLERK: PROPERTY CODE § 12.006 AUTHORIZES THE
RECORDATION OF THIS INSTRUMENT WITHOUT ACKNOWLEDGMENT OR FURTHER
PROOF OF THE SIGNATURE OF THE GOVERNOR.

EXHIBIT A

LEGAL DESCRIPTION

STATE OF TEXAS
COUNTY OF DALLAS

BEING a tract or parcel of land situated in the John L. Anderson Survey Abstract No. 26 in the City of Garland Dallas County, Texas, and being part of a tract of land described in deed to Robert A. Bear, Trustee, recorded in Volume 76052, Page 323, D.R.D.C.T., and being more particularly described as follows:

BEGINNING at a 1/2" iron pin set for corner in the north right-of-way line of State Highway No. 66 and being the most southerly southwest corner of a 62.500 acre tract of land conveyed to the City of Garland, recorded in Volume 96134, Page 03796, D.R.D.C.T.:

THENCE, North 89°30'56" West, along the said north right-of-way line of State Highway No. 66, a distance of 826.03 feet to a 1/2" iron pin set for corner,

THENCE, North 00°17'59" West, leaving said north right-of-way line of State Highway No. 66, a distance of 527.39 feet to a 1/2" iron pin set for corner, in the northerly south line of said City of Garland 62.50 acre tract of land;

THENCE, South 89°31'00" East, along said northerly south line of the City of Garland 62.50 acre tract, a distance of 826.03 feet to a 1/2" iron pin set for corner, at the ell corner of said City of Garland 62.50 acre tract;

THENCE, South 00°17'59" East, along the southern most west line of the City of Garland 62.50 acre tract, a distance of 527.39 feet to the POINT OF BEGINNING and containing 10.000 acres of land more or less. (435,600.0 Square Feet);



City Council Item Summary Sheet

☐ Work Session

Date: April 19, 2016

☒ Agenda Item

ITEM – 5 ABANDONMENT OF UTILITY EASEMENT AT 4806 CRESTHILL LANE

Summary of Request/Problem

In 1984 Highcrest Addition was platted as a subdivision and various utility easements between lots were platted. This particular utility easement was never utilized by the City or any franchise utility and to the best of our knowledge does not contain any utilities. The applicant has indicated they would like the easement abandoned. They have also provided the City written responses from all utility companies indicating they do not have facilities in the easement nor do they have plans to construct new facilities in the easement.

David & Kayla Scott reside at 4806 Cresthill Lane and wish to purchase their neighbors lot so that they may replat the two lots into one and build a new home. Their proposed new home would cover the existing utility easement. In order to enable and facilitate redevelopment of these lots, the existing utility easement needs to be abandoned.

This item was considered by Council at the April 4, 2016 Work Session.

City Attorney's Office has reviewed.

Recommendation/Action Requested and Justification

Approve by Resolution authorizing the Mayor to abandon the 5' x 70' utility easement on Lot 23, Block 4, Highcrest Addition, located at 4806 Cresthill Lane, and execute a Deed Without Warranty conveying the easement interest to David & Kayla Scott.

Submitted By:

Michael C. Polocek, P.E.
Director of Engineering

Approved By:

Bryan L. Bradford
City Manager

ABANDONMENT OF UTILITY EASEMENT
WITHOUT WARRANTY

STATE OF TEXAS

§

§ KNOW ALL BY THESE PRESENTS:

COUNTY OF DALLAS

§

That the **City of Garland, Texas, a home-rule municipality** ("Grantor"), for ten dollars (\$10.00) and other good and valuable consideration to Grantor, the receipt and sufficiency of which is hereby acknowledged, paid in hand by **David and Kayla Scott, a married couple** ("Grantee"), has **GRANTED, ABANDONED, AND CONVEYED**, and by these presents does **GRANT, ABANDON, AND CONVEY** unto Grantee all of its interests, of whatever nature, in the 5' x 70' utility easement within that certain lot, tract, or parcel of land, commonly known as 4810 Cresthill Lane, situated in the County of Dallas, State of Texas, to wit:

BEING situtated in Lot 23, Block 4, Highcrest Addition, an addition to the City of Garland, Dallas County, Texas, and being more particularly described in Exhibit "A" attached hereto and incorporated herein by reference (the "Property");

THIS DEED IS MADE WITHOUT WARRANTY, EXPRESS OR IMPLIED, AND GRANTOR EXPRESSLY DISCLAIMS, EXCEPTS AND EXCLUDES ANY AND ALL WARRANTIES OF TITLE OR OTHERWISE FROM THIS CONVEYANCE, INCLUDING - WITHOUT LIMITATION - ANY WARRANTIES ARISING UNDER COMMON LAW OR UNDER SECTION 5.023 OF THE TEXAS PROPERTY CODE OR OTHER STATUTE. BY ACCEPTANCE OF THIS DEED, GRANTEE ACKNOWLEDGES THAT THE PROPERTY IS CONVEYED "AS IS - WHERE IS, WITH ALL FAULTS".

TO HAVE AND TO HOLD the Property, together with all and singular the rights and appurtenances thereto and in anywise belonging unto Grantee, its heirs, successors and assigns forever; **WITHOUT WARRANTY AND SUBJECT IN ALL RESPECTS TO THE DISCLAIMERS SET FORTH ABOVE.**

EXECUTED this the _____ day of _____, 2016.

[Signature Page to Follow]

GRANTOR:

CITY OF GARLAND, TEXAS,
a home-rule municipality

By: _____
Mayor

ACKNOWLEDGMENT

STATE OF TEXAS

§

§

COUNTY OF DALLAS

§

This instrument was acknowledged before me on the ____ day of _____, 2016, by Douglas Athas, Mayor of the City of Garland, Texas, on behalf of the City.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2016.

Notary Public in and for the State
of Texas

Typed or Printed Name of Notary

My Commission Expires: _____

RESOLUTION NO.

A RESOLUTION APPROVING THE ABANDONMENT, RELEASE, AND CONVEYANCE OF A PORTION OF A UTILITY EASEMENT IN THE HIGHCREST ADDITION; AUTHORIZING THE MAYOR OF THE CITY OF GARLAND TO EXECUTE A DEED CONVEYING THE PROPERTY TO DAVID AND KAYLA SCOTT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, a certain portion of property being in the Highcrest Addition, and more particularly described and depicted in Exhibit "A", attached hereto and incorporated herein by reference ("Property");

WHEREAS, the City has determined that the Property is no longer needed for public use and should be abandoned and conveyed to the abutting owner, David and Kayla Scott ("Grantee");

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS:

Section 1

That the abandonment and conveyance of the Property by the City of Garland to the Grantee is hereby approved.

Section 2

That the Mayor is hereby authorized to execute a Deed Without Warranty, the form and substance of which is attached as Exhibit "A" and incorporated herein by reference, conveying the Property to the Grantee.

Section 3

That this Resolution shall be and become effective immediately upon and after its adoption and approval.

PASSED AND APPROVED this the ____ day of _____, 2016.

CITY OF GARLAND, TEXAS

Mayor

ATTEST:

City Secretary



City Council Item Summary Sheet

☐ Work Session

Date: April 19, 2016

☒ Agenda Item

Item – 6 Project Specific Agreement with Dallas County Bridge Remediation in Dallas County District 1

Summary of Request/Problem

The 2016 Approved CIP included funds for bridge remediation and repairs identified in the State BRINSAP reports throughout Garland.

In 2014 the City executed a Master Agreement with Dallas County that provides general terms regarding funding availability, agency responsibilities, etc., for “partnering” on eligible transportation related maintenance on certain designated roadways in the city limits of Garland. Dallas County solicited the City on behalf of Dallas County Commissioner Dr. Theresa Daniel’s office to participate in repairs of thoroughfare bridges of Type B or larger within Dallas County District 1.

The PSA identifies total estimated costs the bridge repairs in Commissioner Daniels District to be \$922,240.00. The PSA also establishes the participation between the City and Dallas County to be 50/50 or \$461,120.00 each.

This item was considered by Council at the April 4, 2016 Work Session.

The Attorney’s Office has reviewed the PSA.

Recommendation/Action Requested and Justification

Adopt a Resolution that authorizes the City Manager to execute the Project Specific Agreement.

Submitted By:

Michael C. Polocek, P.E.
Director of Engineering

Approved By:

Bryan L. Bradford
City Manager

RESOLUTION NO.

A RESOLUTION AUTHORIZING THE CITY MANAGER TO EXECUTE A PROJECT SPECIFIC AGREEMENT WITH DALLAS COUNTY FOR REPAIRS OF BRIDGES OVER TYPE B THOROUGHFARES WITHIN THE CITY OF GARLAND, DALLAS COUNTY DISTRICT 1; AND PROVIDING AN EFFECTIVE DATE.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS:

Section 1

That the City Manager is hereby authorized to execute a Project Specific Agreement with Dallas County, attached hereto as Exhibit "A", for the repair of bridges over type B thoroughfares within the City of Garland, Dallas County District 1, for estimated costs to the City of Garland in the amount of \$461,120.00.

Section 2

That this Resolution shall be and become effective immediately upon and after its adoption and approval.

PASSED AND APPROVED this the _____ of _____, 2016.

CITY OF GARLAND, TEXAS

Mayor

ATTEST:

City Secretary



City Council Item Summary Sheet

☐ Work Session

Date: April 19, 2016

☒ Agenda Item

Item – 7 SALE OF CITY PROPERTY – 1700 BLOCK SPENCER ROAD DENTON, TEXAS (SPENCER ELECTRIC GENERATION FACILITY)

Summary of Request/Problem

Consider the sale of an electric utility and access easement located in the City of Denton, Texas in the 1700 Block of Spencer Road at the City of Garland Spencer Electric Generation Facility. The City was approached by the City of Denton for the purchase of an electric utility and access easement across the City's Spencer Generation Facility located in Denton, Texas. The City of Denton is requesting the easement for the purpose of constructing electric transmission and distribution lines across the City's property. City staff has held multiple meetings with the City of Denton staff and representatives to discuss issues with construction activities and access to the Spencer Electric Generation Facility property. City staff worked with City of Denton staff and representatives to satisfactorily address City staff's concerns regarding access and construction activities, which are reflected in the easement documents requested for Council approval.

Recommendation/Action Requested and Justification

Staff recommends that Council approve by minute action authorizing the City Manager to proceed with the sale of an electric utility and access easement located in the City of Denton, Texas in the 1700 Block of Spencer Road at the City of Garland Spencer Electric Generation Facility.

Submitted By:

**Jeff Janke
Garland Power & Light**

Approved By:

**Bryan L. Bradford
City Manager**



City Council Item Summary Sheet

☐ Work Session

Date: April 19, 2016

☒ Agenda Item

Item – 8 Appointment to the Animal Services Advisory Committee

Summary of Request/Problem

The Animal Services Advisory Committee (ASAC) is a six-person committee authorized by Section 22.23 of the Code of Ordinances to provide advice to the City Council and Managing Director of Health on the operation of the Animal Shelter. The Animal Services Advisory Committee meets at a minimum of three times per year. Jason Chessher, Director of Health, is the staff liaison to the committee.

The composition of the ASAC is set at six members filling various roles (in parenthesis) as required by the Code of Ordinances and the Texas Health & Safety Code. Dr Bill Dunn, DVM, Chair (licensed veterinarian); Ms. Yvette Diaz (representative of an animal welfare organization); Mr. Robby Neill, Garland Managing Director (county or municipal official); Mr. Frank Locke, Town of Sunnyvale Animal Services (operator of an animal shelter) and Ms. Anita Rushlau (impartial Garland citizen) currently sit on the ASAC. The position that had been filled by Mr. Tony Jenkins, Assistant Director of Dallas County Health & Human Services (public health official) has now been vacated with Mr. Jenkins' retirement.

Interest from area health agencies was solicited by Garland Health Department staff and Mr. Chuck Dumas with the City of Rowlett expressed interest in being an ASAC member.

Staff recommends Chuck Dumas, Rowlett's Environmental Services Manager, to fill the vacant position of "public health official" on the ASAC.

Recommendation/Action Requested and Justification

Consider by minute action the appointment to the Animal Services Advisory Committee.

Submitted By:

Richard Briley
Managing Director
Health & Code Compliance

Approved By:

Bryan L. Bradford
City Manager



Meeting: Regular Meeting

Date: April 19, 2016

Policy Report

ITEM – 9 ROADWAY IMPACT FEE WAIVER FOR STEVE AND GINA RUNNELS

ISSUE

Steve and Gina Runnels are requesting a waiver of the roadway impact fee for development of property located at 1234 Thomasville Court.

OPTIONS

1. Provide a full or partial waiver of the roadway impact fee.
2. Do not waive the roadway impact fee for the proposed development.

RECOMMENDATION

City Council direction is requested.

COUNCIL GOAL

Sustainable Quality Development and Redevelopment

BACKGROUND

Steve and Gina Runnels are proposing to construct a 3,331 square-foot beauty salon building on the subject property which is zoned Planned Development (PD) District 14-36 for Neighborhood Office Uses with Retail Store/Personal Services allowed by Specific Use Provision only. On the Council's agenda is the ordinance for the approval of a Specific Use Provision for the beauty salon use, which is classified as Personal Services per the Garland Development Code (GDC). Based on the proposed size, location and use of the building, roadway impact fees in the amount of \$4,093.75 would be due. The applicant is requesting a waiver of the roadway impact fee, as described in the attached letter.

CONSIDERATIONS

1. Section 31.165 of the City of Garland's Impact Fee Ordinance, Ordinance No. 5852, provides for a waiver of impact fees "if the City Council determines that a waiver of impact fees for the new development will result in significant economic benefits for the City that substantially exceed the likely amount of impact fees that would otherwise be payable by providing an incentive for capital investment in the city and the creation or retention of jobs".
2. The applicant has stated in the attached document that the business will provide tax revenue and services to the City of Garland, as well as allow them to remain business owners in Garland.

ATTACHMENT(S)

Letter from Steve and Gina Runnels

Submitted By:

Will Guerin, AICP
Director of Planning

Date: April 7, 2016

Approved By:

Bryan L. Bradford
City Manager

Date: April 13, 2016

City Council and To Whom it may concern,

My name is Steve Runnels and I was born and raised in Garland, Texas. I attended GISD schools my entire life and graduated from North Garland High School in 1981. My wife Gina also attended GISD schools and graduated from Garland High School in 1982. We met in hairstyling school and have been married for 31 years. We have two daughters that attended GISD schools and both graduated from Sachse High School. Both my wife and I have worked in Garland since we were old enough to have a job.

I am a third generation hairstylist and my youngest daughter has followed in the family legacy of stylists. My mother owned and operated a hair salon in Garland on Buckingham Road for 14 years and we both were employed by her during that time. She still resides in Garland. We purchased her salon and owned it for 6 years. In 2001 we sold it to have more time with our children. Currently we work in another salon in Garland and have been employed there for the past 15 years.

The current property where we work has recently sold to First Baptist Garland and are leasing back from the church. So, we need a new home. We strived years ago to become debt free and we accomplished that 3 years ago. But, all of that changed on December 28th, 2015. Now we are in debt again but for a great cause. We purchased a plot of land in Garland off of Murphy Road and Campbell. We have plans to build a hair salon from the ground up. We have scrimped, saved and budgeted to fulfill our dream of being business owners again in Garland.

All of the planning for this property was done pre-purchase. We were not at the meetings to know exactly what fees were remaining once we became owners. There was a SUP brought to our attention during the building permitting phase, this was a surprise expense of \$1,050, not in our budget. Once the SUP is finalized it will have set us back 3 additional months. During this time we continue to pay weekly rent to our employer and we are making monthly payments to the bank for our loan for the new land and building.

Monday, March 7th, we were informed that we are required to pay road impact fees of \$4,100. This will strap us financially, this is our retirement money that we are investing. Our new building and land will cost us over \$600,000. We are asking you to consider waiving the road impact fees of \$4,100. This will have such a positive impact on us financially, mentally and physically.

We are excited to help this community by providing tax revenue for this city that we love and support. We are homegrown and want to continue this process by providing services for our city.

The people that we have come in contact with from the City of Garland have been very patient and kind to us. This process has been an education for both of us and we appreciate the care and concern that you have for our city. You should be very proud.

If you have any questions or concerns that are not mentioned please contact me.

Respectfully,

Steve and Gina Runnels

214-728-3645



Planning Report

Dayne Ram

On the north corner of Naaman Forest Boulevard and Elliott Avenue

REQUEST

Approval of 1) an amendment to Planned Development (PD) District 06-79 for Community Retail Uses and Concept Plan, 2) a Detail Plan for Hotel/Motel, Limited Service and Office, General, 3) a Specific Use Provision for Hotel/Motel, Limited Service and 4) variances to Section 2.41 of the Garland Development Code regarding maximum lot coverage and maximum building height.

OWNER

Garland By The Hyatt, LLC

PLAN COMMISSION RECOMMENDATION

On March 28, 2016 the Plan Commission, by a vote of eight (8) to zero (0), recommended approval of 1) an amendment to Planned Development (PD) District 06-79 for Community Retail Uses and Concept Plan, 2) a Detail Plan for Hotel/Motel, Limited Service and Office, General, 3) a Specific Use Provision for Hotel/Motel, Limited Service for a period of 45 years and 4) variances to Section 2.41 of the Garland Development Code to allow a maximum building height of 55 feet for the hotel building and a maximum lot coverage of 45 percent.

STAFF RECOMMENDATION

Approval of 1) an amendment to Planned Development (PD) District 06-79 for Community Retail Uses and Concept Plan, 2) a Detail Plan for Hotel/Motel, Limited Service and Office, General 3) a Specific Use Provision for 45 years for Hotel/Motel, Limited Service and 4) variances to Section 2.41 of the Garland Development Code regarding maximum lot coverage and maximum building height.

BACKGROUND

The property is zoned Planned Development (PD) District 06-79 for Community Retail Uses. The subject property, along with 6 other lots, were zoned within the Planned Development with a Concept Plan that showed an overall development

plan that included two hotels, four restaurants and two office buildings (the two office buildings on the subject property). The intent of the Planned Development was to create an area of retail, restaurants, and hospitality uses to support the Curtis Culwell Special Events Center. The numerous conferences and special events within the area warranted a site dedicated to the type of services a retail and commercial area would provide. The adjacent properties within the Planned Development have been developed consistent with the overall plan including a hotel, two restaurants and a multi-tenant retail building that includes restaurants. The applicant proposes to develop the subject property with a four-story hotel with limited service and a one-story shell building for office uses. Per Planned Development (PD) District 06-79, approval of a Detail Plan through the public hearing process is required prior to the development of any of the sites within the Planned Development.

The Garland Development Code defines Hotel/Motel, Limited Service as a building(s) for the overnight or temporary lodging of travelers for compensation. A limited service hotel or motel may have on-site food preparation/service for guests.

SITE DATA

The subject property contains approximately 2.388 acres in area, with approximately 265 lineal feet of frontage along Naaman Forest Boulevard and 330 lineal feet of frontage along Elliot Avenue. The site will be accessed from both Naaman Forest Boulevard and Elliot Avenue.

USE OF PROPERTY UNDER CURRENT ZONING

With Community Retail (CR) as the base zoning district, Planned Development (PD) 06-79 allows uses as they are permitted in the Community Retail (CR) District. Hotel/Motel, Limited Service requires approval of a Specific Use Provision through the public hearing process.

CONSIDERATIONS

Detail Plan:

1. The applicant seeks approval of a Detail Plan to develop a four-story hotel with limited service and a one-story shell building for office uses. The hotel will have 43,043 square feet of floor area and it will provide 87 guest rooms and 1,848 square feet of meeting space. In addition to the meeting space, the hotel will provide other amenities including lounge space, a work alcove area, a fitness room and an indoor pool. The one-story shell building will have 2,520 square feet and will be leased out to office uses.

2. The proposed Detail Plan complies with the setback regulations found in the Community Retail (CR) District.
3. The proposed hotel with limited service will comply with the regulations found in Section 2.52(A)(11) regarding interior design standards and amenities.
4. The proposed landscape layout is in compliance with the screening and landscape standards of the Garland Development Code including but not limited to landscape buffers and screening and landscaping of parking areas.
5. The design of the hotel building and office building is required to comply with the following Garland Development Code requirements:
 - All building elevations are required to consist of at least eighty percent masonry per Section 4.83(A).
 - At least two different exterior construction materials must be applied on facades visible from the streets per Section 4.83(A).
 - At least six of the twelve architectural elements listed in Section 4.83(B) must be incorporated into the design of the building.
 - Street-facing elevations should be articulated in accordance with Section 4.83(C).

The design of the hotel building and office building complies with the above standards.

6. The Garland Development Code establishes a parking ratio of 1 parking space for every guest room plus 1 parking space for every 200 square feet of conference area for Hotel/Motel, Limited Service. The parking requirement for Office, General is 1 parking space for every 300 square feet of gross floor area. The proposed development will require 105 parking spaces and the Detail Plan provides 118 parking spaces. It should be noted that the hotel and shell building will be on one single platted lot and the parking reflected on the Detail Plan will serve both buildings.
7. Planned Development (PD) District 06-79 included the subject property and six additional lots, an area bounded by Naaman Forest Boulevard to the southwest, Elliot Avenue to the southeast, the service road of SH 190 to the northeast and the property lines contiguous to the Walmart Supercenter site. The Planned Development limits freestanding signage to one freestanding sign and four monument signs along the SH 190 Service Road and one monument sign along Naaman Forest Boulevard. Presently there is not a monument sign along Naaman Forest Boulevard; therefore, the applicant has the opportunity to place a monument sign on the subject property. The

applicant is proposing a monument sign along the northeast property line. The monument sign and attached signage on the proposed hotel comply with the applicable regulations of the Garland Development Code and variances are not being requested. Although no information was provided regarding the attached signage that will be on the office building, the applicant has communicated to Staff that all attached signage on the office building will comply with the Garland Development Code.

Specific Use Provision:

8. The applicant requests approval of a Specific Use Provision for a period of 45 years for Hotel/Motel, Limited Service.

Variances:

9. Prior to the adoption of the Garland Development Code the regulations of the Freeway (FW) District applied to Planned Development (PD) District 06-79 and building height was limited to any legal height. The Hyatt Place hotel located to the west of the subject property has six stories; therefore, the proposed hotel will have a building height that is comparable to the one of the Hyatt Place hotel. With the adoption of the Garland Development Code the Freeway (FW) District was eliminated and the Community Retail (CR) District became the base zoning district for Planned Development (PD) District 06-79. Section 2.41 of the Garland Development Code establishes a maximum building height of 35 feet for buildings in the Community Retail (CR) District. The applicant requests a variance to the established building height and proposes a height of approximately 52 feet. The applicant has indicated that for the project to be viable the proposed number of rooms need to be provided and on this site it can best be accomplished with a four-story building.
10. Section 2.41 of the Garland Development Code limits the lot coverage to forty percent (portion of the platted lot that can be under roof structure). The applicant seeks a variance to the above maximum lot coverage to allow a lot coverage of 43.80 percent. The applicant contends that the additional lot coverage is not excessive and that other site layout requirements such as landscape buffers, open space and the parking requirement are still met.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Community Centers for the subject property. Community centers are areas with compact development, primarily non-residential, serving a collection of neighborhoods. This type of development consists of a mix of uses, including retail, services, office use, multi-family residential, and entertainment. Community centers may be developed at the intersections of major arterial streets and along major arterials, highways, and turnpike corridors. This type of area is served by numerous roads and transit routes, providing a variety of

connections to adjacent residential neighborhoods, retail centers, and employment centers.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the north, including the properties located across SH 190, are mostly zoned for Community Retail Uses and have developed with a variety of restaurant and commercial uses. The properties to the east are zoned for Neighborhood Office Uses; these properties are currently developed with a baseball field. The properties to the south, across Naaman Forest Boulevard, are zoned for Agricultural Uses; these properties are developed with Naaman Forest High School and the Curtis Culwell Special Events Center. The properties to the west are mostly zoned for Community Retail Uses and are developed with a Hyatt Place hotel, a Sam's Club and a Walmart Supercenter.

The surrounding area has developed with regional and local attractions that provide a variety of services including restaurants, retail and conference/event space. The proposed hotel and office building will expand the array of options local residents and visitors will have in an area along SH 190 where rapid development growth is anticipated.

In 2007 City Council approved Planned Development (PD) District 06-79 for the subject property and adjoining properties, with the vision of creating a destination for lodging, hospitality, and entertainment uses that would support the patrons of the Special Events Center. There are other regional destinations nearby such as Firewheel Town Center, Firewheel Golf Course and Hawaiian Falls that contribute to the hospitality/entertainment uses that draw in patrons to the surrounding area. The concept was to allow for compatible support services that would generate more opportunities for conferences and special events to be held in this area. The proposed developed is consistent with the established direction approved by City Council.

Prepared By:

Josue De La Vega
Development Planner

Date: April 8, 2016

Reviewed By:

Will Guerin, AICP
Director of Planning

Date: April 8, 2016

Reviewed By:

Bryan L. Bradford
City Manager


Date: April 13, 2016



0 50 100 Feet
1 inch = 100 feet

ZONING

Z 16-01

 INDICATES AREA
OF REQUEST

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 16-05

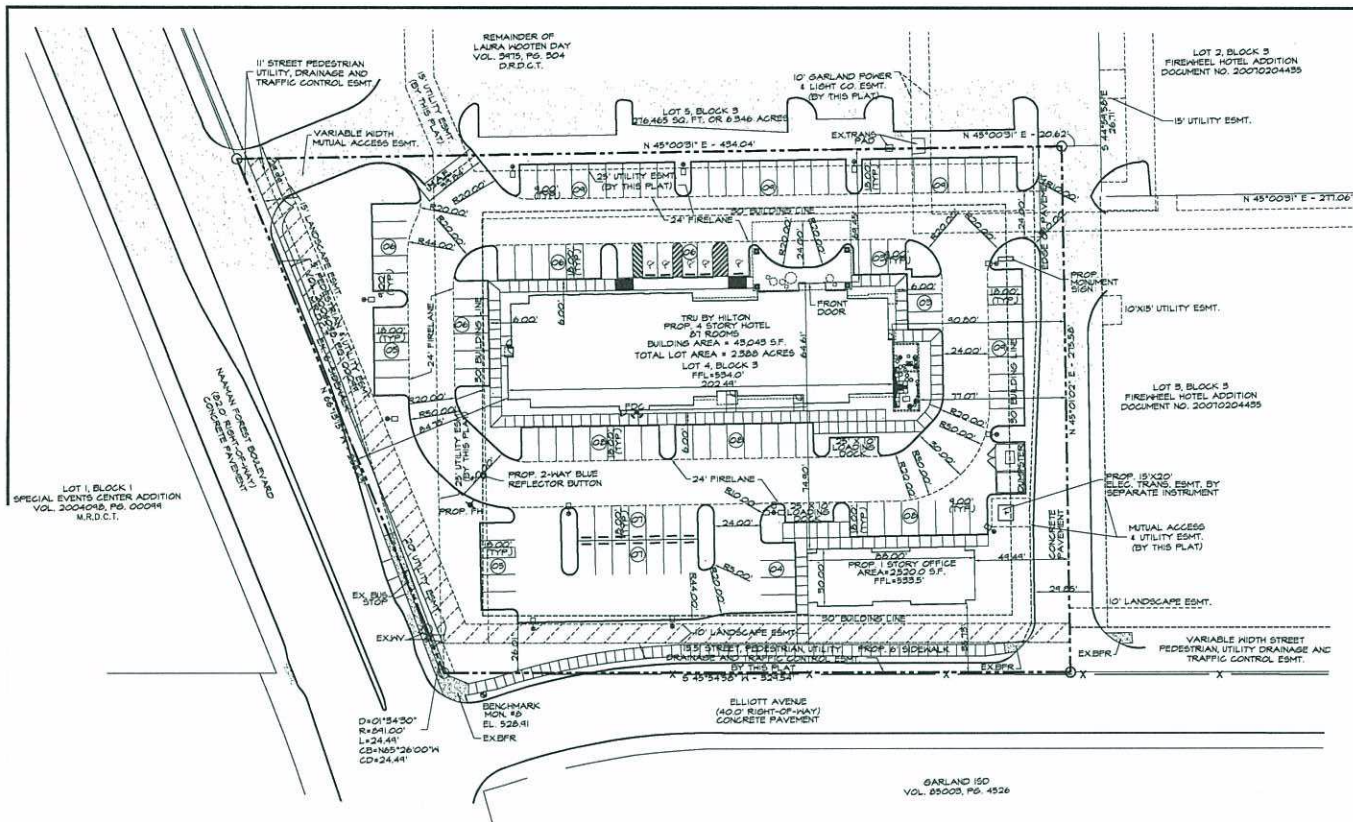
- I. Statement of Purpose:** The purpose of this Planned Development is to permit the development of Hotel/Motel, Limited Service and Office, General subject to conditions.
- II. Statement of Effect:** This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Community Retail (CR) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. Detail Plan:** Development shall be in general conformance with the Detail Plan labeled Exhibit C. In the event there is conflict between the approved Detail Plan and the Specific Regulations below, the Specific Regulations shall apply.
- V. Specific Regulations:**
- A. Permitted Uses: Only those uses as permitted in the Community Retail (CR) District. Restaurant with Drive Through, however, is not a permitted use on the subject property.
 - B. Screening and Landscaping: Screening and landscaping shall be in general conformance with the landscape plan labeled Exhibit D.
 - C. Elevations: Building elevations shall be in general conformance with the elevations labeled Exhibit E.
 - D. Building Height: The maximum building height permitted for the hotel is 55 feet.
 - E. Lot Coverage: The maximum allowed lot coverage is 45 percent
 - F. Signage: Freestanding signage shall be limited to one monument sign. Freestanding signage and attached

signage shall comply with the applicable regulations
in the Garland Development Code.

SPECIFIC USE PROVISION CONDITIONS

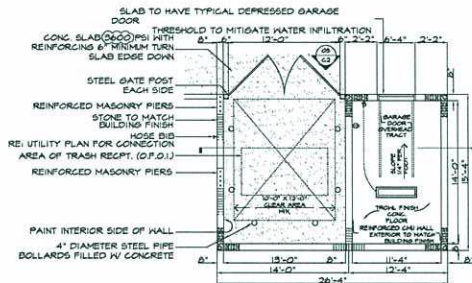
ZONING FILE Z 16-05

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to permit the development of Hotel/Motel, Limited Service.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Community Retail (CR) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. Specific Regulations:**
 - A. Specific Use Provision:** The Specific Use Provision shall be effective for a period of 45 years.

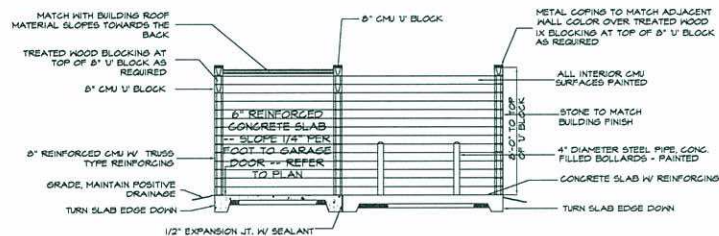


SHEET NUMBER
C1

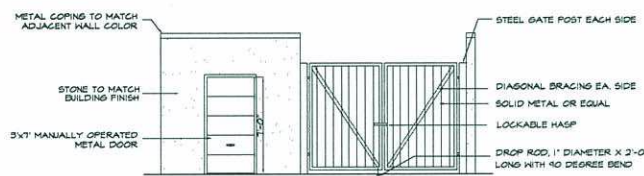
- NOTES:
1. VERIFY DRAINAGE REQUIREMENTS WITH HEALTH INSPECTOR.
 2. PROVIDE CEILING MOUNTED LIGHT AND DUPLEX OUTLET IN STORAGE.
 3. DUMPSTER ENCLOSURE EXTERIOR FINISH TO MATCH BUILDING FINISH.



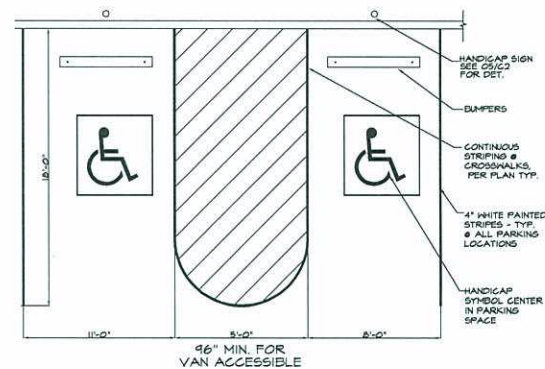
01 STORAGE & TRASH ENCLOSURE PLAN
SCALE: NONE



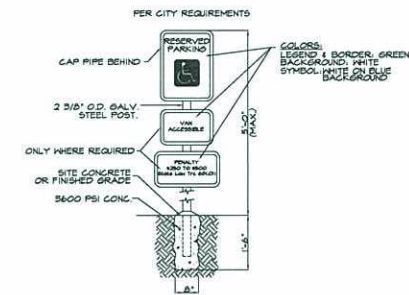
02 STORAGE & TRASH ENCLOSURE SECTION
SCALE: NONE



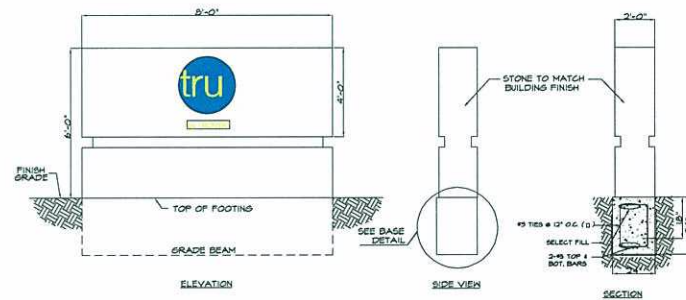
03 STORAGE & TRASH ENCLOSURE ELEVATION
SCALE: NONE



04 DETAIL - HANDICAP PARKING
SCALE: NONE



05 DETAIL - HANDICAP SIGN
SCALE: NONE



06 MONUMENT SIGN
SCALE: NONE

PROJECT STATUS:
PRELIMINARY
PROJECT MANAGER:
DSR
DESIGN MANAGER:
RCM
PROJECT DATE:
12/15/15
REVISION DATE:
03/18/16

MANNY SINGH
438 CAVE RIVER DR.
MURPHY, TEXAS 75054
PHONE: 936.333.4400
manny@modobility.com

ADR-DESIGNS-LLC
TOTAL DESIGN MANAGERS
601 SADDLE HILL DRIVE, GRAND PRAIRIE, TX 75050
PHONE: 936.283.1333 FAX: 214.272.2887
E-MAIL: info@adr-designs.com
FOR: JOHN C. SARGENT

TRU by HILTON
LOT 4R, BLOCK 3, FREEMAN HILL ADD.
NANNAN FOSTER BLVD. & ELOTT AVE.
CITY OF GARLAND, TEXAS



UR Engineering
New Construction - City Planning - Construction Services
7953 PINKERTON COURT
PLANO, TEXAS 75025
PHONE: 972.344.8887 FAX: 972.767.3003
E-MAIL: info@ur-engineering.com
FIRM # F-9928

JOB NUMBER:
TNH-16432

SHEET NUMBER
C2

SIDE ELEVATION

PENDING SIGN

SCHEDULE





1.00-1	2'-0"	(SH 610.0)
1.00-2	2'-0"	(SH 610.0)
1.00-3	2'-0"	(SH 610.0)
1.00-4	2'-0"	(SH 610.0)
1.00-5	2'-0"	(SH 610.0)
1.00-6	2'-0"	(SH 610.0)
1.00-7	2'-0"	(SH 610.0)
1.00-8	2'-0"	(SH 610.0)
1.00-9	2'-0"	(SH 610.0)
1.00-10	2'-0"	(SH 610.0)
1.00-11	2'-0"	(SH 610.0)
1.00-12	2'-0"	(SH 610.0)
1.00-13	2'-0"	(SH 610.0)
1.00-14	2'-0"	(SH 610.0)
1.00-15	2'-0"	(SH 610.0)
1.00-16	2'-0"	(SH 610.0)
1.00-17	2'-0"	(SH 610.0)
1.00-18	2'-0"	(SH 610.0)
1.00-19	2'-0"	(SH 610.0)
1.00-20	2'-0"	(SH 610.0)
1.00-21	2'-0"	(SH 610.0)
1.00-22	2'-0"	(SH 610.0)
1.00-23	2'-0"	(SH 610.0)
1.00-24	2'-0"	(SH 610.0)
1.00-25	2'-0"	(SH 610.0)
1.00-26	2'-0"	(SH 610.0)
1.00-27	2'-0"	(SH 610.0)
1.00-28	2'-0"	(SH 610.0)
1.00-29	2'-0"	(SH 610.0)
1.00-30	2'-0"	(SH 610.0)
1.00-31	2'-0"	(SH 610.0)
1.00-32	2'-0"	(SH 610.0)
1.00-33	2'-0"	(SH 610.0)
1.00-34	2'-0"	(SH 610.0)
1.00-35	2'-0"	(SH 610.0)
1.00-36	2'-0"	(SH 610.0)
1.00-37	2'-0"	(SH 610.0)
1.00-38	2'-0"	(SH 610.0)
1.00-39	2'-0"	(SH 610.0)
1.00-40	2'-0"	(SH 610.0)
1.00-41	2'-0"	(SH 610.0)
1.00-42	2'-0"	(SH 610.0)
1.00-43	2'-0"	(SH 610.0)
1.00-44	2'-0"	(SH 610.0)
1.00-45	2'-0"	(SH 610.0)
1.00-46	2'-0"	(SH 610.0)
1.00-47	2'-0"	(SH 610.0)
1.00-48	2'-0"	(SH 610.0)
1.00-49	2'-0"	(SH 610.0)
1.00-50	2'-0"	(SH 610.0)
1.00-51	2'-0"	(SH 610.0)
1.00-52	2'-0"	(SH 610.0)
1.00-53	2'-0"	(SH 610.0)
1.00-54	2'-0"	(SH 610.0)
1.00-55	2'-0"	(SH 610.0)
1.00-56	2'-0"	(SH 610.0)
1.00-57	2'-0"	(SH 610.0)
1.00-58	2'-0"	(SH 610.0)
1.00-59	2'-0"	(SH 610.0)
1.00-60	2'-0"	(SH 610.0)
1.00-61	2'-0"	(SH 610.0)
1.00-62	2'-0"	(SH 610.0)
1.00-63	2'-0"	(SH 610.0)
1.00-64	2'-0"	(SH 610.0)
1.00-65	2'-0"	(SH 610.0)
1.00-66	2'-0"	(SH 610.0)
1.00-67	2'-0"	(SH 610.0)
1.00-68	2'-0"	(SH 610.0)
1.00-69	2'-0"	(SH 610.0)
1.00-70	2'-0"	(SH 610.0)
1.00-71	2'-0"	(SH 610.0)
1.00-72	2'-0"	(SH 610.0)
1.00-73	2'-0"	(SH 610.0)
1.00-74	2'-0"	(SH 610.0)
1.00-75	2'-0"	(SH 610.0)
1.00-76	2'-0"	(SH 610.0)
1.00-77	2'-0"	(SH 610.0)
1.00-78	2'-0"	(SH 610.0)
1.00-79	2'-0"	(SH 610.0)
1.00-80	2'-0"	(SH 610.0)
1.00-81	2'-0"	(SH 610.0)
1.00-82	2'-0"	(SH 610.0)
1.00-83	2'-0"	(SH 610.0)
1.00-84	2'-0"	(SH 610.0)
1.00-85	2'-0"	(SH 610.0)
1.00-86	2'-0"	(SH 610.0)
1.00-87	2'-0"	(SH 610.0)
1.00-88	2'-0"	(SH 610.0)
1.00-89	2'-0"	(SH 610.0)
1.00-90	2'-0"	(SH 610.0)
1.00-91	2'-0"	(SH 610.0)
1.00-92	2'-0"	(SH 610.0)
1.00-93	2'-0"	(SH 610.0)
1.00-94	2'-0"	(SH 610

VICINITY MAP

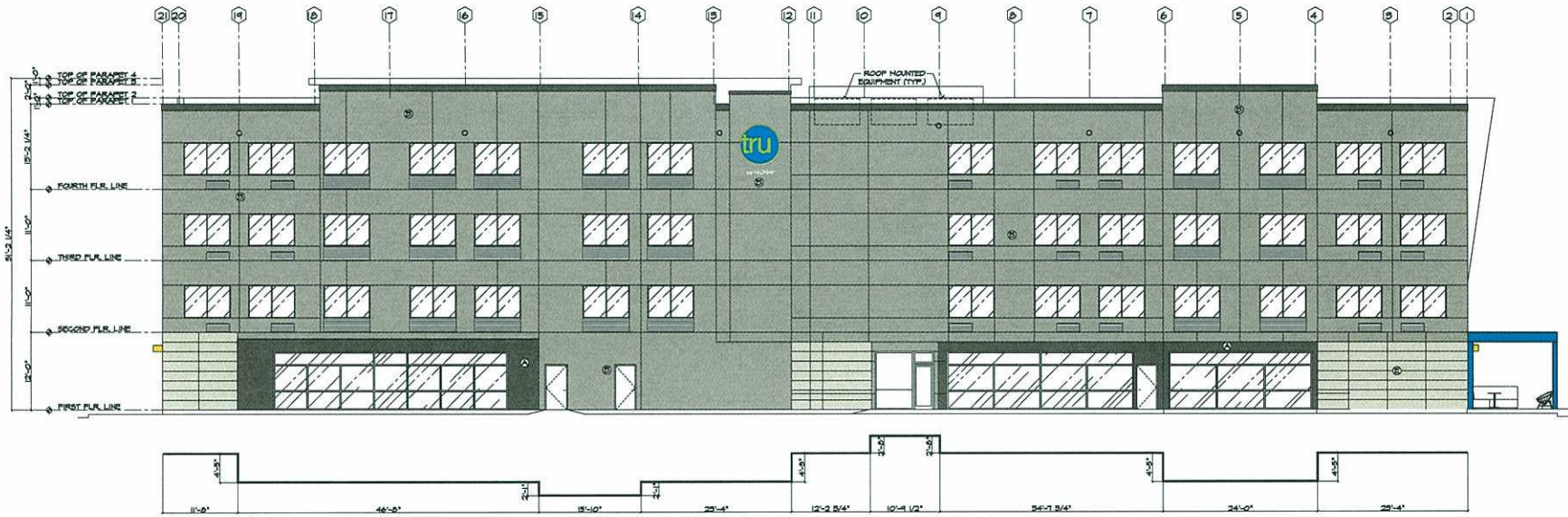
CASE NUMBER: 151223-1

BUILDING SIGNAGE ■ TOWER	COLOR SPECIFICATION	MONUMENT SIGNS
	<ul style="list-style-type: none"> ● - BLUE PLATE (SH 6746) ● - CENTER STAGE (SH 6420) <p>BUILDING SIGNAGE ■ MALL</p>	<p>8'-0"</p> <p>2'-0"</p> <p>3'-0"</p> <p>2'-0"</p> <p>TOP OF FOOTING GRADE BEAM</p> <p>FINISH GRADE</p> <p>FRONT ELEVATION</p> <p>SIDE ELEVATION</p> <p>FINISH TO MATCH BUILDING SIGN</p>

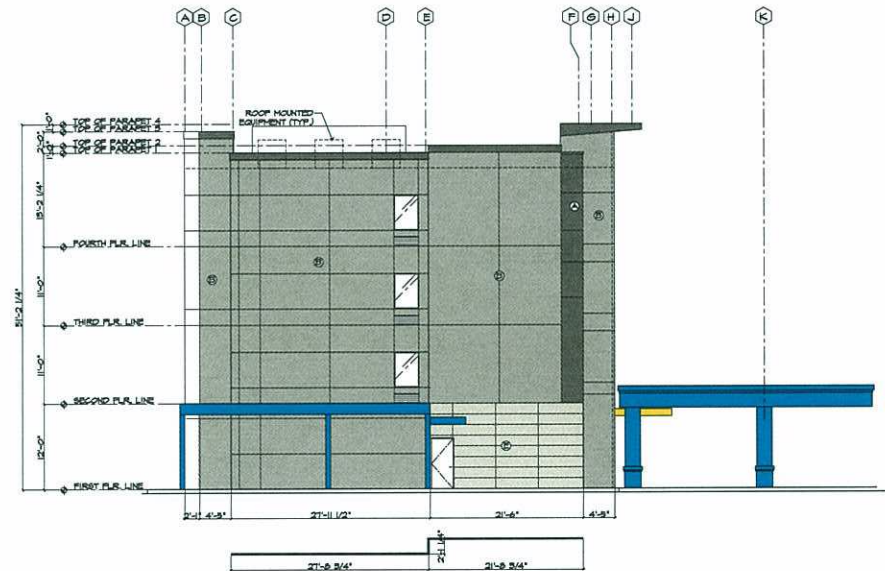
NOTE:	ARCHITECTURAL ELEMENTS:
*ALL STUCCO INSTALLATIONS TO COMPLY WITH ASTM C1066	1. CANOPIES
*MAXIMUM WALL PANEL AREA = 144 sq. ft.	2. DISPLAY WINDOWS
*MAXIMUM DISTANCE BETWEEN JOINTS = 16 ft.	3. TRANSOM
*MINIMUM LENGTH TO WIDTH RATIO = 2.5 TO 1	4. VARIOZ RAIL HEIGHTS
*NO INCREASE ALLOWED UNLESS APPROVED BY ARCHTCT.	5. PLANTERS
	6. BENCHES FOR OUTDOOR SEATING

MATERIAL CALCULATION SCHEDULE					FINISH SCHEDULE
	NORTH ELEVATION	NORTH ELEVATION	SOUTH ELEVATION	EAST ELEVATION	
TOTAL FACADE AREA (EXCLUSIVE OF DOORS & WINDOWS)	1234 S.F.	2820 S.F.	6492 S.F.	2465 S.F.	 STUCCO COLOR-1 SHAW-0001 (SQ 4185)
MATERIAL					 STUCCO COLOR-2 SHAW-0001 (SQ 4191)
STUCCO	634 S.F. (40%)	2386 S.F. (42%)	6477 S.F. (43%)	2456 S.F. (42%)	 STUCCO ACCENT WALL SHAW-0001, SH T104, SH 4607, SH 4552, 4 SH 4603
STONE	445 S.F. (36%)	254 S.F. (9%)	515 S.F. (7%)	224 S.F. (9%)	 STONE SHAW-0001, SH T54
TOTAL	1234 S.F. (100%)	2820 S.F. (100%)	6492 S.F. (100%)	2465 S.F. (100%)	

SHEET NUMBER
A310



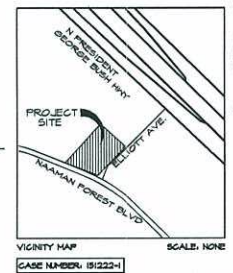
01 SOUTH ELEVATION (REAR)
SCALE: 1/8"=1'-0"



02 EAST ELEVATION (LEFT)
SCALE: 1/8"=1'-0"

NOTE:	ARCHITECTURAL ELEMENTS:
1. ALL STUCCO INSTALLATIONS TO COMPLY WITH ASTM C1066	1. CANOPIES
2. MAXIMUM HALL PANEL AREA = 144 SQ. FT.	2. DISPLAY WINDOWS
3. MAXIMUM DISTANCE BETWEEN JOINTS = 10 FT.	3. TRANSOM
4. MAXIMUM LENGTH TO WIDTH RATIO = 2.5 TO 1	4. VARIOUS ROOF HEIGHTS
5. NO INCREASE ALLOWED UNLESS APPROVED BY ARCHITECT.	5. PLANTERS
	6. BENCHES FOR OUTDOOR SEATING

MATERIAL CALCULATION SCHEDULE	FINISH SCHEDULE
	STUCCO COLOR-1 SHADE-GREEN (SH 6180)
	STUCCO COLOR-2 RARE GRAY (SH 6144)
	STUCCO ACCENT WALL SH 6805, SH 704, SH 6407, SH 6852, 4 SH 6903
	STONE SLATE STONE (SH 754)
TOTAL FACADE AREA (EXCLUSIVE OF DOORS & WINDOWS)	
NORTH ELEVATION	EAST ELEVATION
1,234 S.F.	2,820 S.F.
2,820 S.F.	6,492 S.F.
6,492 S.F.	2,868 S.F.
2,868 S.F.	
TOTAL	
1,234 S.F. (100%)	2,820 S.F. (100%)
2,820 S.F. (100%)	6,492 S.F. (100%)
2,868 S.F. (100%)	



PROJECT STATUS:
PRELIMINARY
PROJECT MANAGER:
DBR
DESIGN MANAGER:
RCM
PROJECT DATE:
02/2016
REVISION DATE:
03/18/16

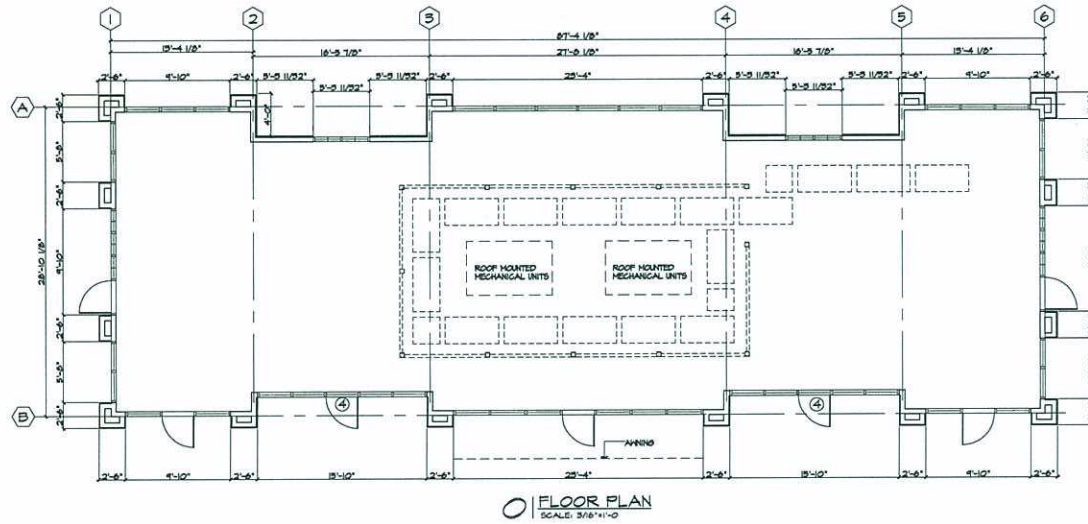
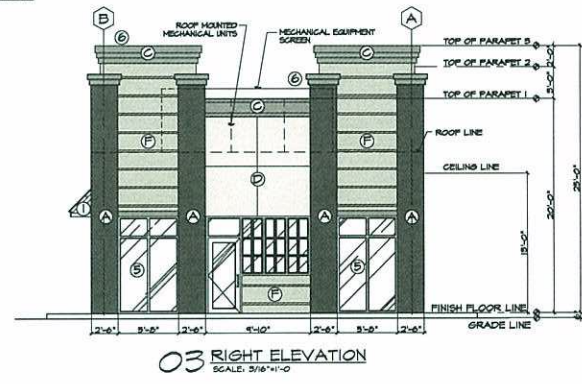
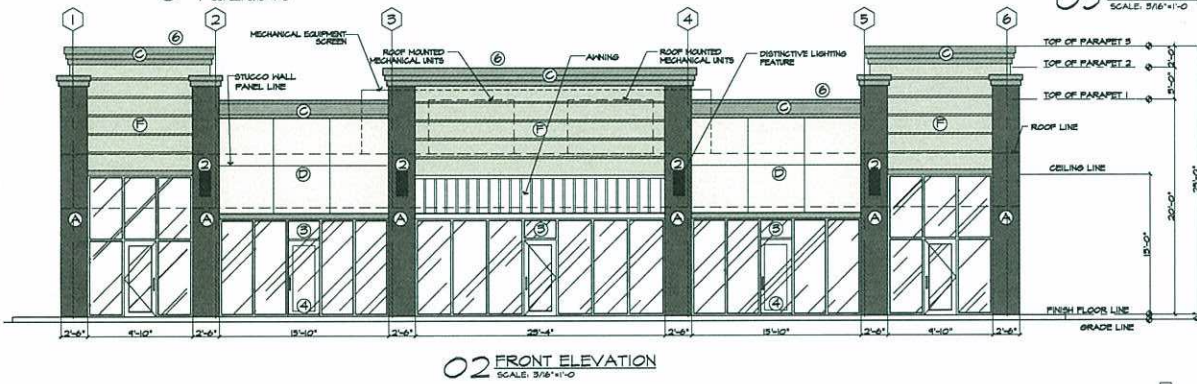
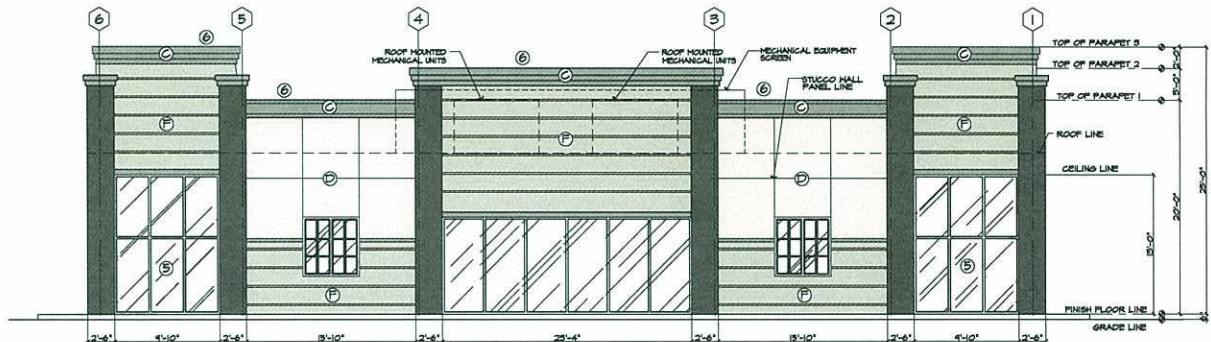
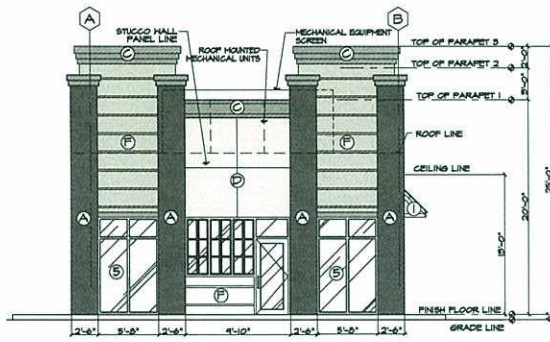
MANNY SINGH
438 CAVE RIVER DR.
SUITE 100
DALLAS, TX 75244
PHONE: 800-555-5400
manny@mochohospitality.com

TRU by HILTON
NANAN FOREST BOULEVARD
GARLAND, TEXAS

ADR-DESIGNS-LLC
TOTAL DESIGN MANAGERS
801 SADDLE HILL DRIVE, GRAND PRairie, TX 75050
PH: 972-250-1333 FAX: 972-250-1307
E: info@adr-designs.com
POC: JOHN C. SARGENT

JOB NUMBER:
TN-16434

SHEET NUMBER
A311



- ARCHITECTURAL ELEMENTS (1)
- 1. ANNINGS OR CANOPIES
 - 2. DISTINCTIVE LIGHTING FEATURE
 - 3. TRANSOMS
 - 4. RECESSED ENTRIES
 - 5. DISPLAY HENDOK
 - 6. VARIOUS ROOF HEIGHTS

NOTE:
ALL STUCCO INSTALLATIONS TO COMPLY WITH ASTM C685
MAXIMUM HALL PANEL AREA 144 sq. ft.
MAXIMUM DISTANCE BETWEEN JOINTS = 18 ft.
MAXIMUM LENGTH TO WIDTH RATIO = 25 TO 1
NO INCREASE ALLOWED UNLESS APPROVED BY ARCHITECT.

FINISH SCHEDULE

(A)	STUCCO COLOR-1 SHADE-BROWN (SH 6158)
(C)	STUCCO COLOR-8 DANISH (SH 6805)
(D)	STUCCO COLOR-4 COTTON WHITE (SH 704)
(F)	STONE SLATE STONE

EXTERIOR FINISH SCHEDULE

	FRONT ELEVATION	RIGHT ELEVATION	LEFT ELEVATION	REAR ELEVATION
TOTAL FACADE	1424 S.F.	128 S.F.	128 S.F.	2021 S.F.
TOTAL FACADE (EXCLUSIVE OF DOORS & HENDOKS)	1170 S.F.	950 S.F.	950 S.F.	1441 S.F.
* DOORS & HENDOKS	254 S.F.	330 S.F.	330 S.F.	580 S.F.
MATERIALS				
* STONE	240 S.F. (20%)	154 S.F. (20%)	154 S.F. (20%)	682 S.F. (44%)
* STUCCO	934 S.F. (65%)	800 S.F. (65%)	800 S.F. (65%)	1359 S.F. (56%)

PROJECT STATUS:
PRELIMINARY
PROJECT MANAGER:
DOR
DESIGN MANAGER:
RCM
PROJECT DATE:
02/2016
REVISION DATE:
02/19/16

MANNY SINGH
3000 AVENUE D
MILFORD, TEXAS 75454
PHONE: 936-555-4400
manny@mochohobby.com

PROPOSED OFFICE
MANNAN FOREST BOULEVARD
GARLAND, TEXAS

ADR-DESIGNS-LLC
TOTAL DESIGN MANAGERS
601 SADDLE HILL DRIVE, GRAND PRairie, TX 75050
PH: 972-250-1333 FAX: 972-250-1334
www.adr-designs.com
FOR: JOHN C. SARGENT

JOB NUMBER:
TNH - 16432B

SHEET NUMBER
A310

REPORT & MINUTES

P.C. Meeting, March 28, 2016 (8 Members Present)

Consideration of the application of Dayne Ram, requesting approval of 1) an amendment to Planned Development (PD) District 06-79 for Community Retail Uses and Concept Plan, 2) a Detail Plan for Hotel/Motel, Limited Service and Office, General 3) a Specific Use Provision for Hotel/Motel, Limited Service and 4) variances to Section 2.41 of the Garland Development Code regarding maximum lot coverage and maximum building height. This property is located at the north corner of Naaman Forest Boulevard and Elliott Avenue. (District 1) (File Z 16-05)

The applicant Douglas Bradley, 519 W. Main Street, Denison, TX 75020, provided a brief overview of the request.

Ryan Patterson, 3340 Remington Drive, Plano, TX 75023, elaborated on the request for the 45 year Specific Use Provision.

Ted Pittman, 9264 W. Lake Highlands Drive, Dallas, TX spoke in support of the request.

Motion was made by Commissioner Luckie, seconded by Commissioner Moore to close the Public Hearing and **approve** the request per staff recommendation. **Motion carried: 8 Ayes, 0 Nays.**



0 50 100 Feet
1 inch = 100 feet

ZONING **Z 16-05**

 INDICATES AREA
OF REQUEST

We did not receive any responses for this case.



Planning Report

Kimley-Horn and Associates

South and west of Bunker Hill Road and north and west of Miles Road

REQUEST

Approval of 1) an amendment to Planned Development (PD) 15-40 and 2) a Detail Plan for Multi-Family on property zoned Planned Development (PD) 15-40 for Multi-Family Uses

OWNER

ArchCo Residential, LLC

PLAN COMMISSION RECOMMENDATION

On March 28, 2016, the Plan Commission by a vote of eight (8) to zero (0) recommended approval of 1) an amendment to Planned Development (PD) 15-40 and 2) a Detail Plan for Multi-Family on property zoned Planned Development (PD) 15-40 for Multi-Family Uses.

STAFF RECOMMENDATION

Staff recommends approval of a Detail Plan for Multi-Family Uses. The development, as reflected, is congruent with the standards established by Planned Development (PD) 15-40.

BACKGROUND

In 2012, City Council approved a change in zoning from Agriculture (AG) District to a Planned Development (PD) District 12-13 for Multi-Family Uses. The Planned Development established the general development criteria. However, a Concept Plan had not been developed in part due to on-going negotiation of the floodplain boundaries. A subsequent Concept Plan approved in 2015 further illustrated the development criteria and updated language previously used to categorize the unit types. The Concept Plan also provided greater definition of the development site and proposed phasing boundaries. The applicant requests approval of a Detail Plan for approximately 299 dwelling units.

SITE DATA

The area under consideration represents phase one of the Domain Garland multi-family development. The limits of the Detail Plan are the northern 10.43 acres contiguous with Bunker Hill Road and abandoned Old Miles Road. The 10.43 acres to be developed has approximately 997 lineal feet of frontage along

Bunker Hill Road. The portion of property to the south of the tract will remain in the Rowlett Creek Floodplain. The applicant has no intention to build multi-family development or other habitable structures on this portion.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Planned Development (PD) District 15-40 for Multi-Family Uses. The proposed development is permitted within the Multi-Family (MF) District, and the general style of the use is permitted with approved variances and the integration of some development standards that resemble the Urban Residential (UR) District. Where specific standards are not provided within the Planned Development, Garland Development Code standards will apply.

The area of land outside of the development scope is zoned Agriculture (AG) District. The Agriculture (AG) District is intended for vacant land which is used for agricultural or open space purposes. The Agriculture (AG) District has a substantial purpose for the development as it will serve as the location of open space, amenity ponds and proposed "hike/bike" trails.

CONSIDERATIONS

1. Planned (PD) Development 15-40 integrated variances to minimum dwelling unit size, unit mix, building height, roofscapes, security system requirements, open space, roof-mounted equipment, and parking provisions with existing Multi-Family and S.H. 190 Development Standards into the proposed Multi-Family concept. The development's Planned Development and subsequent Concept Plan would ultimately illustrate the design guide including the site layout, (e.g. connection to regional trail network, open spaces, amenities and building location) development phases, and updated language regarding unit types.
2. Detail Plan: The applicant requests approval of a Detail Plan for the first of three multi-family development phases. Phase one contains 10.43 gross acres consisting of nine (9) multi-story buildings containing 299 dwelling units. Building 7 will contain an additional fourth level for the purpose of tuck-under car garages, Building 4 contains two stories, and all other buildings are three stories. The Detail Plan is generally consistent with the approved Concept Plan.
 - a. Unit Mix. The Detail Plan is consistent with the unit mix established by the Concept Plan. The Planned Development maximum is forty (40) units per acre. As proposed the development expects to provide approximately 28.67 units per acre; the Domain phase one will contain the following unit mix percentages and average sizes:
 - i. One-bedroom units (including Urban Lofts) 131 units- 43.8%, average unit size equals 776 square feet
 - ii. Two-bedroom units: 130 units- 43.5%, average unit size equals 1,181 square feet
 - iii. Three-bedroom units: 38 units-12.7%, average unit size equals 1,434 square feet
 - b. Building Design. The proposed buildings meet the horizontal and

vertical articulation requirements by utilizing varying degrees of recesses, parapet wall heights and balcony depths. The Building Elevation Plan also reflects the use of approved architectural design elements as set forth in Chapter 4, Article 6 (e.g. recessed entries, varied roof heights, and balconies).

Each external building face contains a predominately brick façade that incorporates a moderate use of stucco and cementitious panel as an accent façade material.

The applicant utilizes brick colors and material textures to establish visual depth. However, internally, the applicant intends to reduce the minimum masonry percentage to 70% as permitted through Alternative Compliance. The remaining 30% will consist of cementitious panels and siding. The incorporation of cementitious panel is not detrimental to the overall design of the development and is contained within the parking courts. Staff has no objection to the alternative masonry percentage as proposed.

The Domain will provide low profiled pitched roofs behind a flat-roof aesthetic, giving the appearance an urban-style development. Roof-mounted air conditioning equipment will be provided. The pitched-roof system and parapets shall be utilized to screen them appropriately.

Buildings within the Domain are permitted to a height no greater than 44 feet; the Detail Plan reflects the buildings will approach but not exceed the permitted height. The 44 feet encompasses three levels; however, Building 7 will also accommodate one level of parking (garages) and three dwelling levels.

- c. Parking. Phase one provides 454 parking spaces including attached garage parking spaces counted in equal measure to open surface parking. According to unit mix, phase one should provide 470 parking spaces. The applicant indicates that the style of development lends itself to a reduced number of parking spaces. The applicant provided a certified parking analysis in support of the quantity of parking provided. Staff concurs with the analysis and finds the parking ratio of 1.5 parking spaces as proposed is appropriate for the development.
- d. Storage Facilities. Section 2.39 (I) (1) requires that each dwelling unit have corresponding and conveniently located enclosed storage facility. The storage facilities must contain at least twenty-five (25) square feet and no less than one containing 175 cubic feet. The development will provide storage facilities; however, the storage will be detached from the dwelling units and be provided at a rate less than one per dwelling unit. The Detail Plan reflects 103 external storage “closets” that shall contain no less than twenty-five (25) square feet and no less than 175 cubic feet. These areas can be separately leased by the tenants. The site will also provide additional storage area within 113 enclosed garages.

216 of 299 units will have access to additional storage; the remaining must utilize the area within the dwelling unit. The applicant suggests that the proposed storage scheme is in response to storage being a

market driven amenity. Notwithstanding, three-fourths of the residents will have access to additional storage.

- e. **Site Design.** The proposed site design is consistent with the Concept Plan. The buildings are oriented so as to create block faces along Bunker Hill, interior pedestrian corridors and parking courts. Phase one will provide approximately 19.61 acres of open space and amenity area. The open space acreage accounts for 20% of the total open space required for the development. No habitable building development will occur within this portion of the site; however, it will contain a proposed “hike/bike” trail, several pocket parks, fitness amenities and the first of two ponds.
- i. The subject site fronts to Bunker Hill Road on the east. Bunker Hill is located within, owned, and maintained by the City of Sachse. Accordingly the applicant must obtain City of Sachse approval regarding transportation design elements such as deceleration lanes, median cuts or other traffic provisions. The City of Sachse has reviewed the submitted Traffic Impact Analysis and provided no objection regarding applicable design elements.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan designates the subject property as Compact Neighborhoods. Compact neighborhoods provide areas for moderate increases in residential density, including single-family attached and single-family detached housing. These areas provide transitions between traditional residential neighborhoods and higher density residential neighborhoods and non-residential developments. These areas accommodate uses such as convenience retail (goods and services), office space, and public services.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The applicant proposes a density of potentially twenty-eight (28) units per acre. A purely urban project would yield a higher density than proposed; however, a substantial portion of the site is encumbered with floodplain. The alternatives would be to eliminate the available open spaces or develop vertically. Although a denser development would further support the businesses at the Firewheel Town Center and other neighboring retail businesses, both of these alternatives are contrary to the spirit and desired scale of the development.

Prepared By:

Isaac Williams
Development Planner

Date: April 8, 2016

Reviewed By:

Will Guerin, AICP
Director of Planning


Date: April 8, 2016

Reviewed By:

Bryan L. Bradford
City Manager

Date: April 13, 2016



<p>0 400 800 Feet</p> <p>1 inch = 800 feet</p>	<p>ZONING Z 16-06</p>	<p> INDICATES AREA OF REQUEST</p>
--	--	--

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE 16-06

South and west of Bunker Hill Road and north and west of Miles Road

- I. Statement of Purpose:** The purpose of this Planned Development is to permit the development of Multi-Family Uses subject to conditions.
- II. Statement of Effect:** This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Planned Development (PD) District 15-40 for Multi-Family Uses are included by reference and shall apply, except as otherwise specified by this Ordinance.

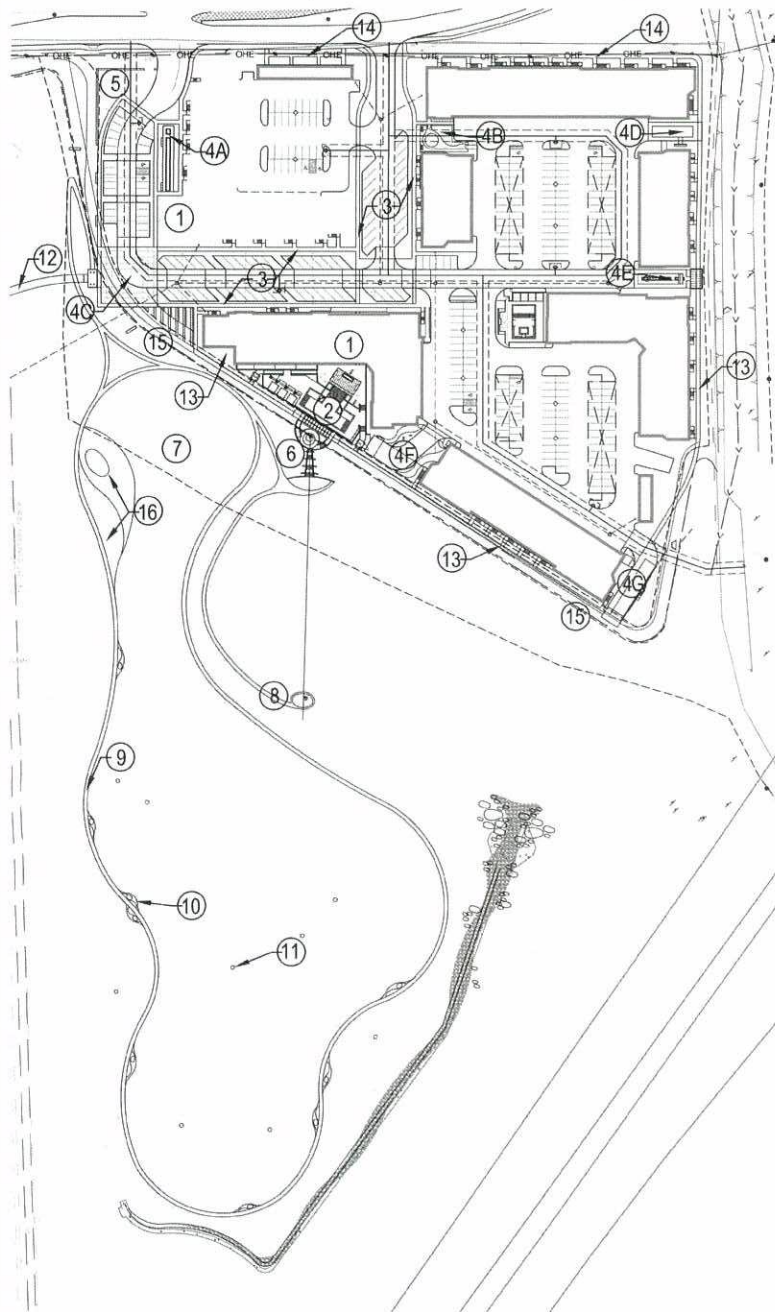
IV. Development Plans:

Detail Plan: Development shall be in general conformance with the Detail Plan set forth in Exhibit C; however, in the event of conflict between the Detail Plan and the written conditions in Planned Development (PD) District 15-40 of this Ordinance, the written conditions shall apply.

V. Specific Regulations:

- A. Permitted Uses: Uses shall be as permitted within the Multi-Family (MF) District.
- B. Parking: Parking shall be generally located as shown on the Detail Plan (Exhibit C) and provided at a ratio of 1.5 parking spaces per dwelling unit.
- C. Screening and Landscaping: Screening and landscaping shall be in general conformance with the approved landscape plan labeled Exhibit D.
- D. Building Elevations: Building elevations shall be in conformance with Exhibit E.
- E. Storage Facilities: External storage shall be provided within internal corridors and within attached garages at a minimum size of twenty-five (25) square feet, no less than 175 cubic feet. The

external storage areas are not required to be directly accessed from each unit. The site shall provide a minimum of 216 external storage areas available through lease or as part of the attached garage.

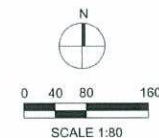


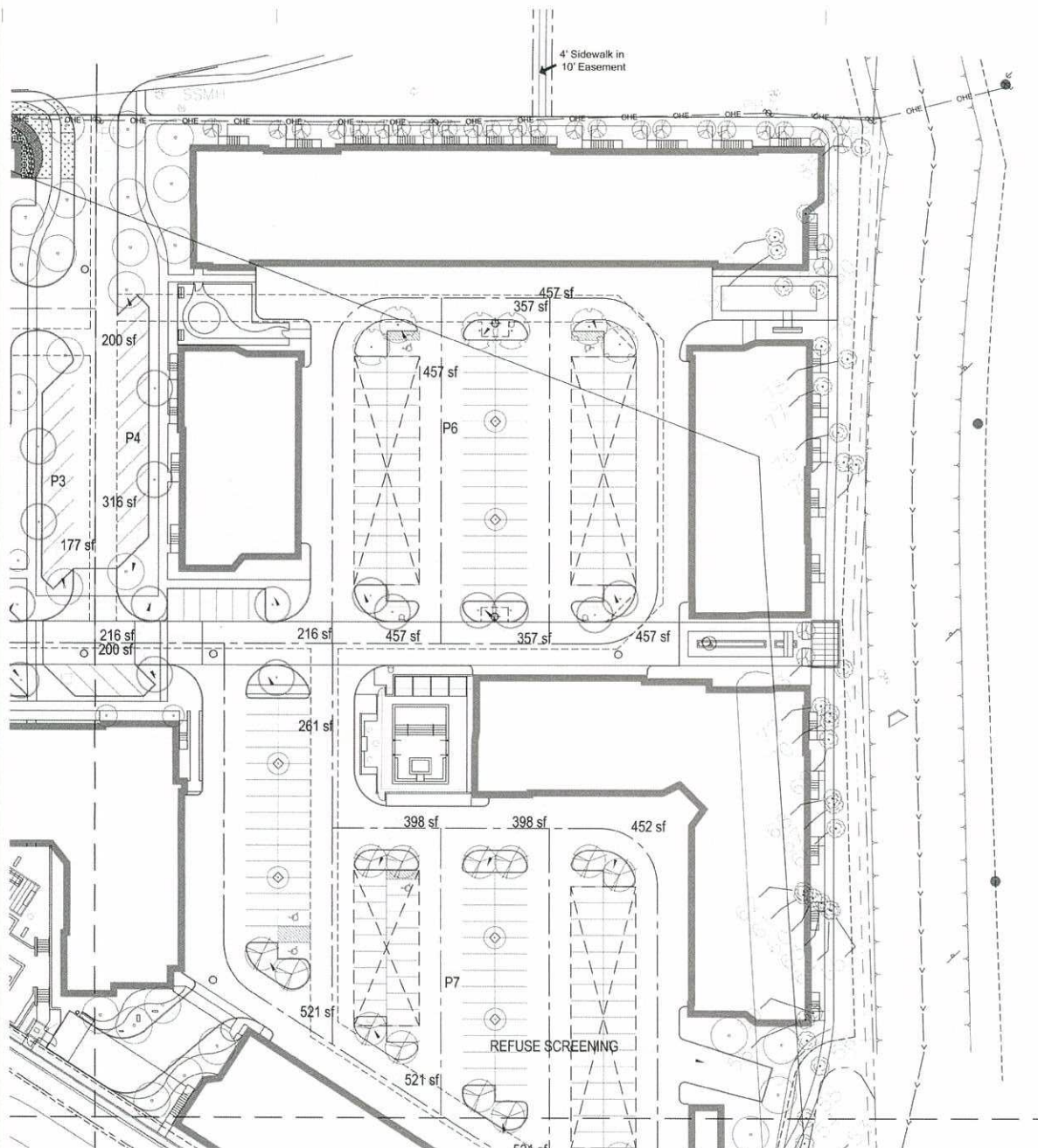
1. LEASING / AMENITY
2. POOL AMENITY
3. TREE-LINED SIDEWALKS
- 4A. LEASING COURT / POCKET PARK
- 4B. POCKET PARK / DOG PARK
- 4C. POCKET PARK / OVERLOOK / FUTURE TRAIL BRIDGE CONNECTOR
- 4D. POCKET PARK
- 4E. POCKET PARK / OVERLOOK
- 4F. POCKET PARK / DOG PARK
- 4G. POCKET PARK / YOGA LAWN
5. POCKET PARK WITH IDENTITY SIGNAGE
6. SEATING OVERLOOK WITH STEPS TO TRAIL AND POND
7. OPEN MANICURED LAWN / AMPHITHEATER LAWN
8. POND OVERLOOK / TRAIL
9. FLOODPLAIN HIKE / BIKE TRAIL
10. POSSIBLE FITNESS STATIONS
11. POSSIBLE FRISBEE GOLF STATIONS
12. FUTURE HIKE AND BIKE TRAIL CONNECTION / BRIDGE
13. PROMENADE / SIDEWALK ALONG MAINTENANCE ACCESS; UNIT ACCESS TO SIDEWALK WHERE FEASIBLE
14. SIDEWALKS WITH UNIT ACCESS WHERE FEASIBLE
15. LANDSCAPE TRANSITION ZONE TO FLOODPLAIN
16. POSSIBLE GOLF CHIPPING GREEN

OVERALL OPEN SPACE AND AMENITY AREA:

	TOTAL ACREAGE	PERCENT OF TOTAL DEVELOPMENT SITE	DEVELOPABLE LAND THAT IS NET RECLAIMED FLOODPLAIN	NET DEVELOPABLE LAND PERCENT OF TOTAL SITE	ACREAGE FOR OPEN SPACE AND AMENITY AREA OF PARCEL SITE	OPEN SPACE AND AMENITY PERCENT OF PARCEL SITE(S)	OPEN SPACE AND AMENITY PERCENT OF TOTAL DEVELOPMENT SITE
PARCELS I, II AND III	135.9 ACRES	100%	37.84 ACRES	27.85%	98.06 ACRES	72.16%	100.00%
PARCEL I	30.038 ACRES	22.11%	10.43 ACRES	34.72%	19.608 ACRES *	65.27% *	20%
PARCELS II AND III	105.855	77.89%	27.41 ACRES	25.89%	78.445 ACRES	74.10%	80%

NOTE: AN ADDITIONAL 33.9% OF THE DEVELOPABLE NET AREA RECLAIMED IS ALSO OPEN SPACE. REFER TO THE LANDSCAPE SHEETS FOR LANDSCAPE DATA TABLE.





01 LANDSCAPE PLAN- AREA B

CASE NUMBER 150827-2

LANDSCAPE DATA TABLE ZONING REFERENCE NUMBER-150827-2

LANDSCAPE AREA	TOTAL SITE AREA	IMPERVIOUS BLDG/PARKING AREA PROVIDED	LANDSCAPE AREA PROVIDED	PER PD 12-13 LANDSCAPE AREA REQUIRED
SITE AREA: 1,308,455sf = 30.038 Acres	300,425	77.1%	0	20% MIN.
DEVELOPMENT SITE: 454,331sf = 10.43 Acres	300,425	33.9%		

LANDSCAPE BUFFER- BUNKER HILL ROAD

REQUIRED BUFFER LENGTH: 492'
452/70= 16.4 TREES REQUIRED
TREES PROVIDED: 20 TREES
(3 TREES SUBSTITUTED W/3 ORNAMENTAL TREES EACH)

7 SHRUBS/ORNAMENTAL GRASSES
FOR EACH REQUIRED BUFFER TREE:
270 SHRUBS
270 SHRUBS PER REQUIRED TREE

PARKING LOT SCREENING

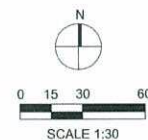
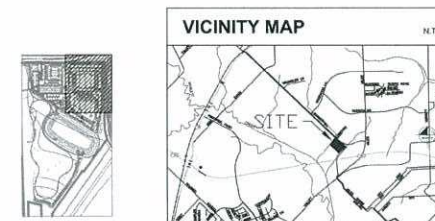
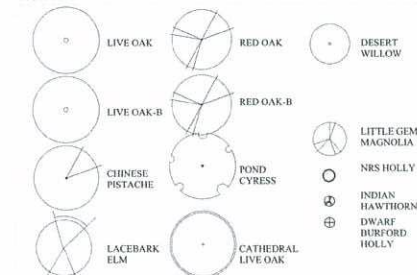
PARKING SPOTS	TREES PROVIDED
P1 28	8
P2 45	11
P3 9	4
P4 11	4
P5 32	8
P6 92	12
P7 111	15
328	62

TOTAL PARKING SPACES: 328
REQUIRED 1 TREE FOR EVERY 10 SPACES: 33 TREES REQ.
62 TREES PROVIDED
-3 ORNAMENTAL TREES AT PARKING DIAMONDS
-70 TREES PROVIDED

PLANT LIST

QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE/REMARKS
20	LIVE OAK	Quercus virginiana	4" caliper B&B 11' - 13' HT., 7-8" SP.
26	LIVE OAK-B	Quercus virginiana	3" caliper B&B 10' - 12' HT., 5-6" SP.
17	RED OAK	Quercus shumardii	4" caliper B&B 11' - 13' HT., 7-8" SP.
5	RED OAK-B	Quercus shumardii	3" caliper B&B 10' - 12' HT., 5-6" SP.
3	CHINESE PISTACHE	Pistacia chinensis	4" caliper B&B 11' - 13' HT., 7-8" SP.
11	LACEBARK ELM	Ulmus parviflorus	4" caliper B&B 11' - 13' HT., 7-8" SP.
22	CATHEDRAL LIVE OAK	Quercus virginiana 'Qytia'	4" caliper B&B 8' - 9' HT., 4-5" SP.
6	POND CYPRESS	Taxodium ascendens	3" caliper B&B 8' - 9' HT., 4-5" SP.
54	LITTLE GEM MAGNOLIA 'Little Gem'	Magnolia grandiflora	1.5" caliper 5' - 6' HT., 3' - 4" SP.
22	DESERT WILLOW	Chilopsis	1.5" caliper 5' - 6' HT., 3' - 4" SP.
12	N.R.S. HOLLY	Ilex cornuta 'Nellie R. Stevens'	30 gal. 48" HT., full, spaced 48" o.c.
70	DWARF BURFORD HOLLY	Ilex cornuta 'Dwarf Burford'	10 gal. 24" HT., full, spaced 36" o.c.
87	INDIAN HAWTHORN	Raphiophis indica 'Majestic Beauty'	10 gal. 20" HT., full, spaced 36" o.c.
171	DWARF MAIDEN GRASS	Miscanthus sinensis 'Adagio'	5 gal., full, spaced 24" o.c.
1,333	ASIAN JASMINE	Trachelospermum asiaticum	4" pot, full, spaced 18" o.c.
1,913	MONDO GRASS	Ophiopogon japonicus	4" pot, full, spaced 6" o.c.

LEGEND

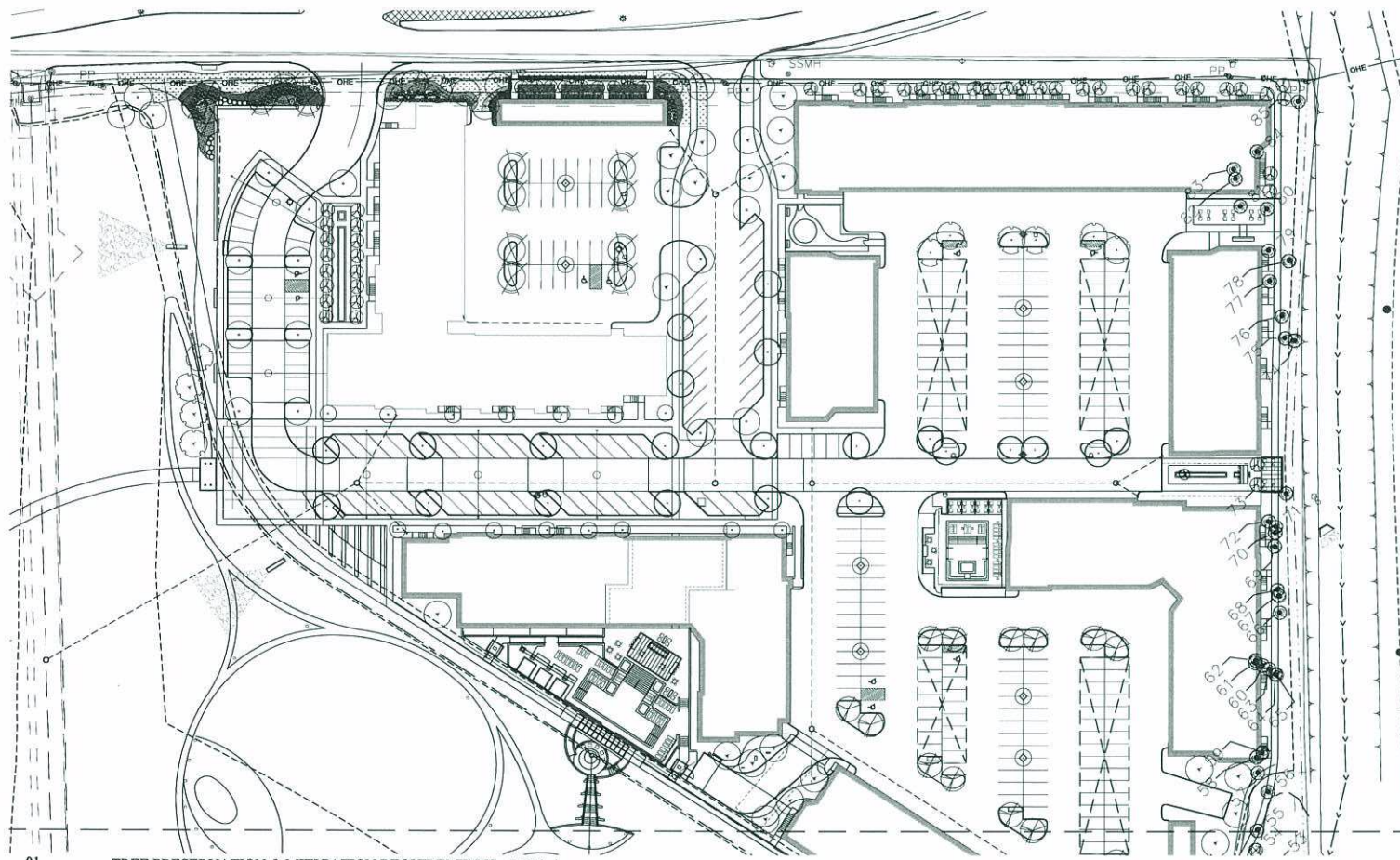


The Domain at Firewheel Garland, Texas Site Landscape Plan EXHIBIT D

Project Number:	10-01
Drawn By:	Site Landscape Plan
Revision:	02.17.2
City Site Plan:	03-04-2
Comment Response:	

LANDSCAPE PLAN

L 10.01

[illegible]



2916 Woodside St.
Dallas, Texas 75204
P. 817-247-8226



The Domain at Firewheel Garland, Texas Site Landscape Plan EXHIBIT D

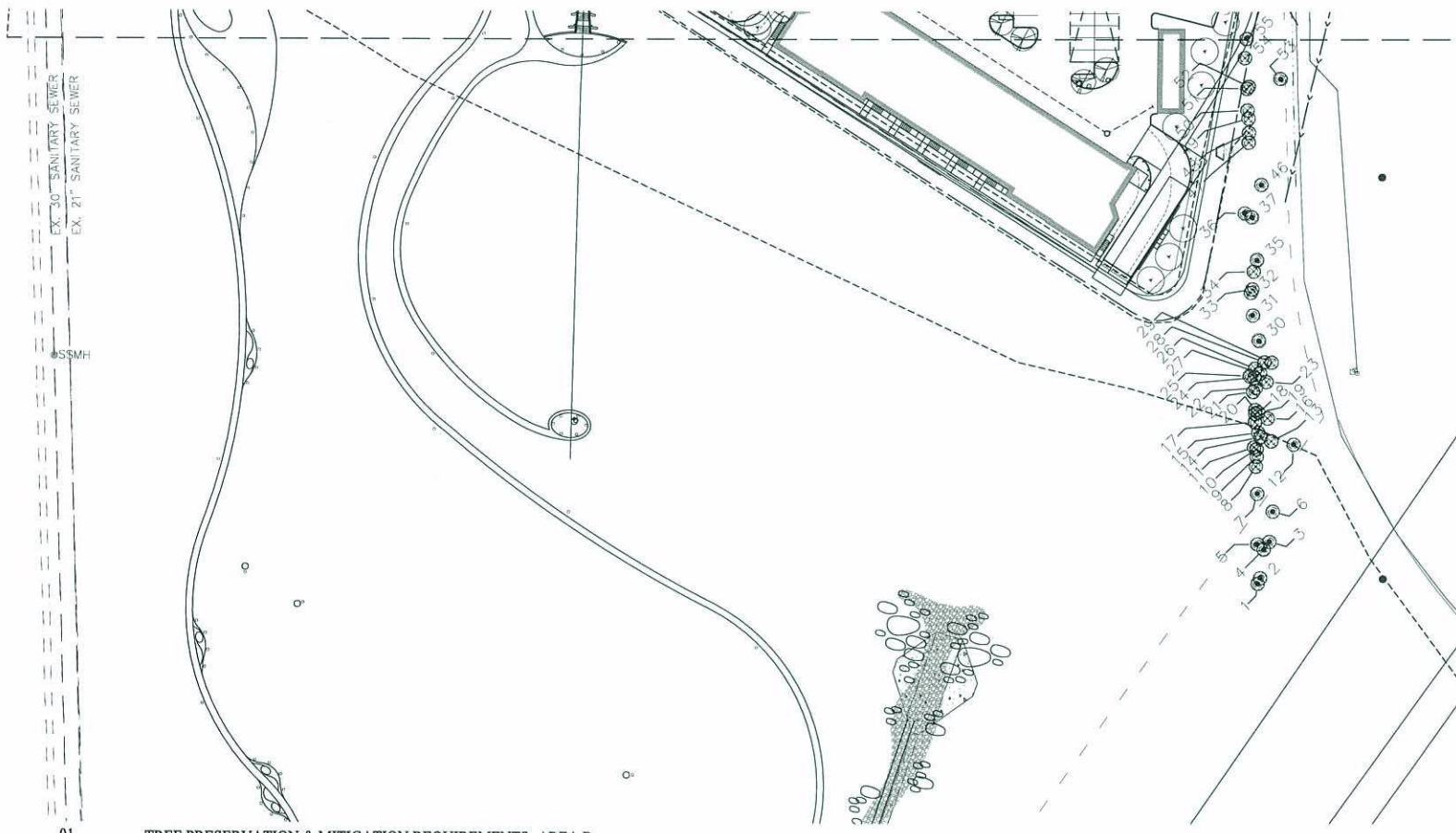


Project Number: 10-010.0
Drawn By: RL
Site Landscape Plan 02.17.2016

Revision Date
City Site Plan 03-04-2016
Comment Response

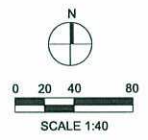
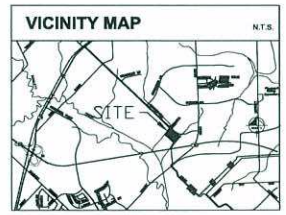
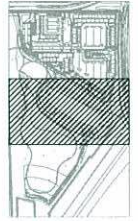
TREE PLAN

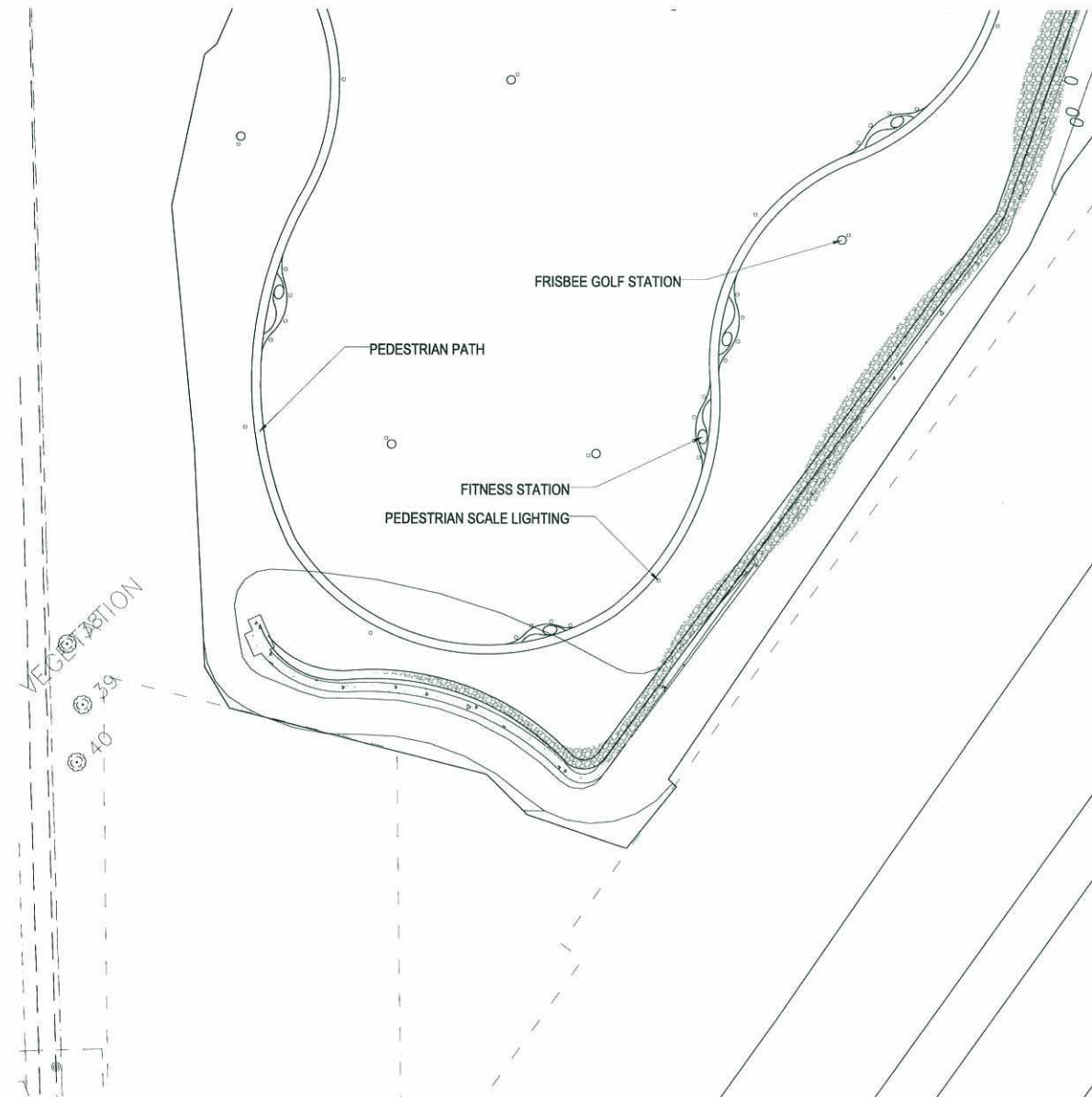
LT 10.01



01 TREE PRESERVATION & MITIGATION REQUIREMENTS- AREA B
SCALE: 1" = 40'
CASE NUMBER 150827-2

TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE	
TREE NO.	DESCRIPTION	TREE NO.	DESCRIPTION	TREE NO.	DESCRIPTION	TREE NO.	DESCRIPTION	TREE NO.	DESCRIPTION
1	1" C. HONEYLOCUST	17	12" W. WHITE PINE	33	1" C. HONEYLOCUST	49	12" W. WHITE PINE	65	1" C. HONEYLOCUST
2	1" C. HONEYLOCUST	18	12" W. WHITE PINE	34	1" C. HONEYLOCUST	50	12" W. WHITE PINE	66	1" C. HONEYLOCUST
3	1" C. HONEYLOCUST	19	12" W. WHITE PINE	35	1" C. HONEYLOCUST	51	12" W. WHITE PINE	67	1" C. HONEYLOCUST
4	1" C. HONEYLOCUST	20	12" W. WHITE PINE	36	1" C. HONEYLOCUST	52	12" W. WHITE PINE	68	1" C. HONEYLOCUST
5	1" C. HONEYLOCUST	21	12" W. WHITE PINE	37	1" C. HONEYLOCUST	53	12" W. WHITE PINE	69	1" C. HONEYLOCUST
6	1" C. HONEYLOCUST	22	12" W. WHITE PINE	38	1" C. HONEYLOCUST	54	12" W. WHITE PINE	70	1" C. HONEYLOCUST
7	1" C. HONEYLOCUST	23	12" W. WHITE PINE	39	1" C. HONEYLOCUST	55	12" W. WHITE PINE	71	1" C. HONEYLOCUST
8	1" C. HONEYLOCUST	24	12" W. WHITE PINE	40	1" C. HONEYLOCUST	56	12" W. WHITE PINE	72	1" C. HONEYLOCUST
9	1" C. HONEYLOCUST	25	12" W. WHITE PINE	41	1" C. HONEYLOCUST	57	12" W. WHITE PINE	73	1" C. HONEYLOCUST
10	1" C. HONEYLOCUST	26	12" W. WHITE PINE	42	1" C. HONEYLOCUST	58	12" W. WHITE PINE	74	1" C. HONEYLOCUST
11	1" C. HONEYLOCUST	27	12" W. WHITE PINE	43	1" C. HONEYLOCUST	59	12" W. WHITE PINE	75	1" C. HONEYLOCUST
12	1" C. HONEYLOCUST	28	12" W. WHITE PINE	44	1" C. HONEYLOCUST	60	12" W. WHITE PINE	76	1" C. HONEYLOCUST
13	1" C. HONEYLOCUST	29	12" W. WHITE PINE	45	1" C. HONEYLOCUST	61	12" W. WHITE PINE	77	1" C. HONEYLOCUST
14	1" C. HONEYLOCUST	30	12" W. WHITE PINE	46	1" C. HONEYLOCUST	62	12" W. WHITE PINE	78	1" C. HONEYLOCUST
15	1" C. HONEYLOCUST	31	12" W. WHITE PINE	47	1" C. HONEYLOCUST	63	12" W. WHITE PINE	79	1" C. HONEYLOCUST
16	1" C. HONEYLOCUST	32	12" W. WHITE PINE	48	1" C. HONEYLOCUST	64	12" W. WHITE PINE	80	1" C. HONEYLOCUST





LANDSCAPE DATA TABLE

ZONING REFERENCE NUMBER: 150827-2

LANDSCAPE AREA	TOTAL SITE AREA	IMPERVIOUS	LANDSCAPE	PER PD 12-13
		BLVD/PARKING	AREA PROVIDED	LANDSCAPE AREA
SITE AREA:	1,308,456sf = 30.038 Acres	300,425	77.1%	0
DEVELOPMENT SITE:	454,331sf = 10.43 Acres	300,425	33.9%	20% MIN.

LANDSCAPE BUFFER: BUNKER HILL ROAD

REQUIRED BUFFER LENGTH: 492'

492'/30' = 16.4 TREES REQUIRED

TREES PROVIDED: 20 TREES

(3 TREES SUBSTITUTED W/ 3 ORNAMENTAL TREES EACH)

7 SHRUBS/ORNAMENTAL GRASSES

FOR EACH REQUIRED BUFFER TREE:

270/16.4 = 16.4

270 SHRUBS

7 SHRUBS PER REQUIRED TREE

PARKING LOT SCREENING

PARKING SPOTS	TREES PROVIDED
P1 28	8
P2 45	11
P3 6	4
P4 11	4
P5 32	8
P6 92	12
P7 111	15
328	62

TOTAL PARKING SPACES: 328

REQUIRED 1 TREE FOR EVERY 10 SPACES: 33 TREES REQ.

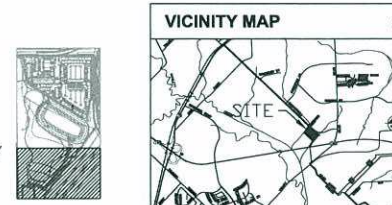
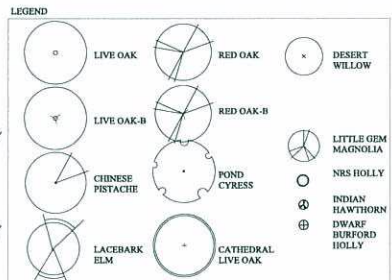
62 TREES PROVIDED

-8 ORNAMENTAL TREES AT PARKING DIAMONDS

-70 TREES PROVIDED

PLANT LIST

QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE/REMARKS
20	LIVE OAK	Quercus virginiana	4" caliper H&B 11' - 13' HT., 7'-8" SP.
26	LIVE OAK-B	Quercus virginiana	3" caliper H&B 10' - 12' HT., 5'-6" SP.
17	RED OAK	Quercus shumardii	4" caliper H&B 11' - 13' HT., 7'-8" SP.
5	RED OAK-B	Quercus shumardii	3" caliper H&B 10' - 12' HT., 5'-6" SP.
3	CHINESE PISTACHE	Pistacia chinensis	4" caliper H&B 11' - 13' HT., 7'-8" SP.
11	LACEBARK ELM	Ulmus parvifolia	4" caliper H&B 11' - 13' HT., 7'-8" SP.
22	CATHEDRAL LIVE OAK	Quercus virginiana 'Nymphaea'	4" caliper H&B 8' - 9' HT., 4'-5" SP.
54	POND CYPRRESS	Taxodium ascendens	3" caliper H&B 8' - 9' HT., 4'-5" SP.
6	LITTLE GEM MAGNOLIA	Magnolia grandiflora	1.5" caliper 5' - 6' HT., 3' - 4" SP.
22	DESERT WILLOW	Chilopsis	1.5" caliper 5' - 6' HT., 3' - 4" SP.
12	N.R.S. HOLLY	Ilex cornuta 'Nellie R. Stevens'	30 gal. 48" HT., full, spaced 48" o.c.
70	DWARF BURFORD HOLLY	Ilex cornuta 'Dwarf Burford'	10 gal. 24" HT., full, spaced 36" o.c.
87	INDIAN HAWTHORN	Raphiolepis indica	10 gal. 20" HT., full, spaced 36" o.c.
171	DWARF MAIDEN GRASS	Maianthemum sibiricum	5 gal., full, spaced 24" o.c.
1,333	ASIAN JASMINE	Trachelospermum asiaticum	4" pot, full, spaced 18" o.c.
1,913	MONDO GRASS	Ophiopogon japonicus	4" pot, full, spaced 6" o.c.



2916 Woodside St.
Dallas, Texas 75204
P: 817-247-8226



The Domain at Firewheel

Garland, Texas

Site Landscape Plan

EXHIBIT D

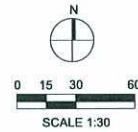


Project Number: 10-010.0
Drawn By: BL
Site Landscape Plan 02.17.2016

Revision: Date
City Site Plan 03-04-2016
Comment Response

LANDSCAPE PLAN

L 10.04

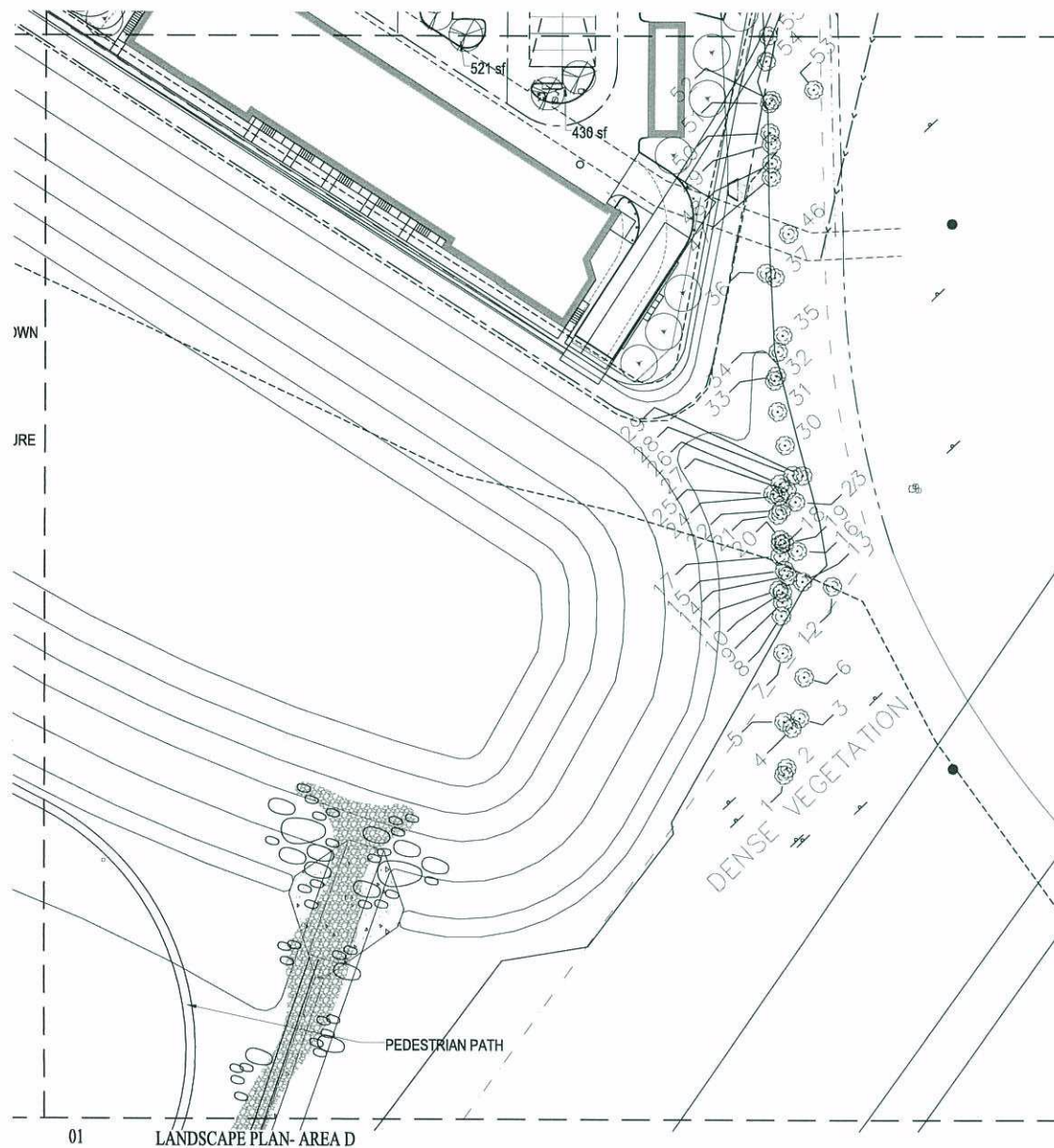


01

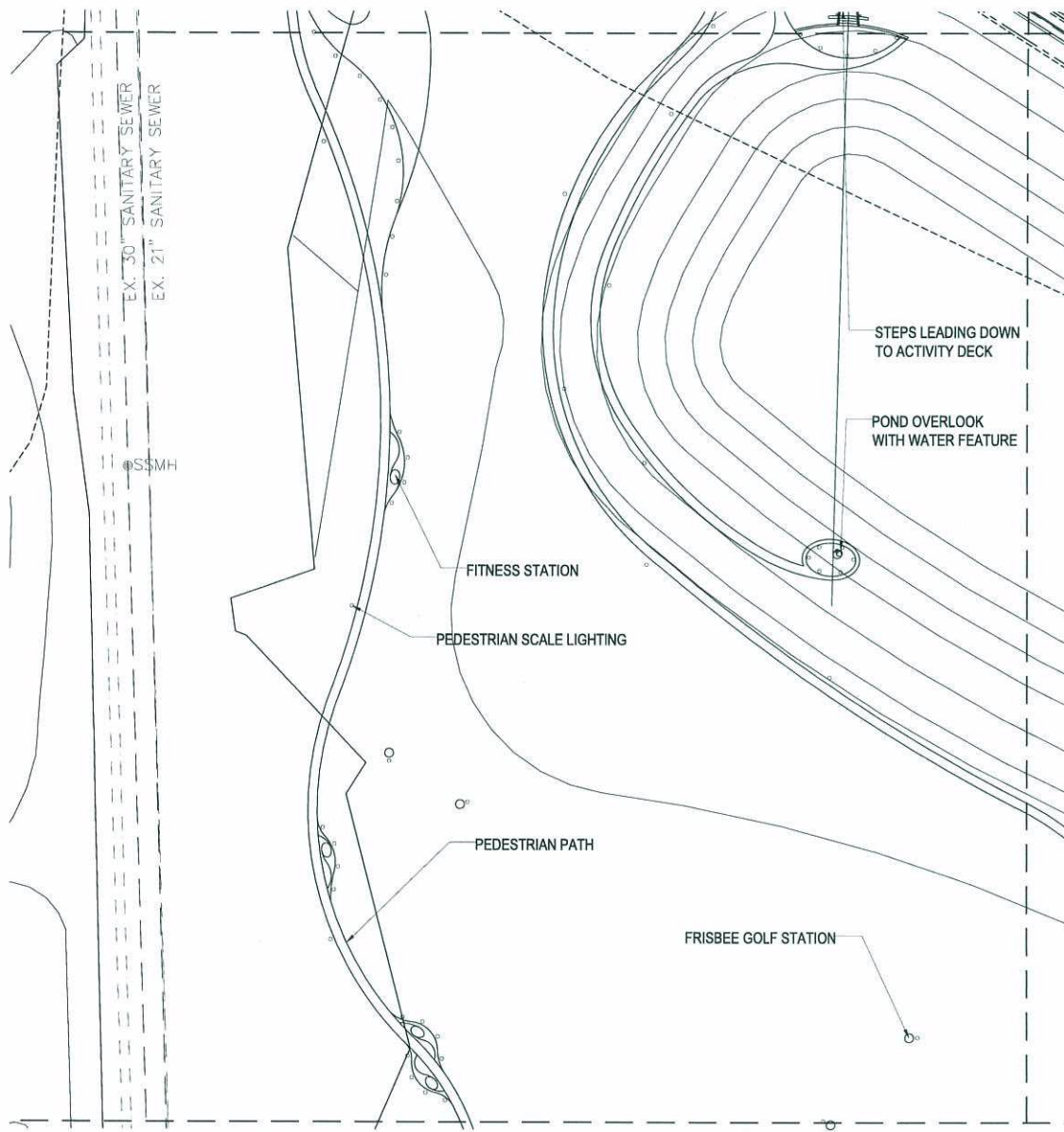
LANDSCAPE PLAN- AREA E

SCALE: 1" = 30'

CASE NUMBER 150827-2



LANDSCAPE DATA TABLE			
ZONING REFERENCE NUMBER: 150827-2			
LANDSCAPE AREA		IMPERVIOUS	LANDSCAPE
	TOTAL SITE AREA	BUILD/PARKING	AREA PROVIDED
SITE AREA:	1,308,455/sf = 30.034 Acres	300,425	77.1%
DEVELOPMENT SITE:	454,331/sf = 10.43 Acres	300,425	33.9%
LANDSCAPE BUFFER- BUNKER HILL ROAD			
REQUIRED BUFFER LENGTH: 492'			
492' / 30 = 16.4 TREES REQUIRED			
TREES PROVIDED: 20 TREES			
(3 TREES SUBSTITUTED W/ 3 ORNAMENTAL TREES EACH)			
3 SHIRUBS/ORNAMENTAL GRASSES			
FOR EACH REQUIRED BUFFER TREE:			
270 SHIRUBS			
270 SHIRUBS PER REQUIRED TREE			
270/16.4 = 16.4			
PARKING LOT SCREENING			
<hr/>			
PARKING SPOTS TREES PROVIDED			
P1	28	8	
P2	45	11	
P3	9	4	
P4	11	4	
P5	32	8	
P6	92	12	
P7	111	15	
	328	62	
TOTAL PARKING SPACES:		328	
REQUIRED 1 TREE FOR			
EVERY 10 SPACES:		33 TREES REQ.	
		42 TREES PROVIDED	
		- 9 ORNAMENTAL TREES	
		AT PARKING DIAMONDS	
		NO TREES PROVIDED	



01

LANDSCAPE PLAN- AREA C

SCALE: 1" = 30'

CASE NUMBER 150827-2

LANDSCAPE DATA TABLE

ZONING REFERENCE NUMBER: 150827-2

LANDSCAPE AREA	TOTAL SITE AREA	IMPERVIOUS	LANDSCAPE	PER PD 12-13
	1,308,455sf = 30.038 Acres	300,425	77.1%	LANDSCAPE AREA
DEVELOPMENT SITE:	454,331sf = 10.43 Acres	300,425	33.9%	REQUIRED
				20% MIN.

LANDSCAPE BUFFER, BUNKER HILL ROAD

REQUIRED BUFFER LENGTH:	492'
492/30 =	16.4 TREES REQUIRED
TREES PROVIDED:	20 TREES
(3 TREES SUBSTITUTED W/ 3 ORNAMENTAL TREES EACH)	
7 SHRUBS/ORNAMENTAL GRASSES	
FOR EACH REQUIRED BUFFER TREE:	
270/16.4 = 16.4	270 SHRUBS
	7 SHRUBS PER REQUIRED TREE

PARKING LOT SCREENING

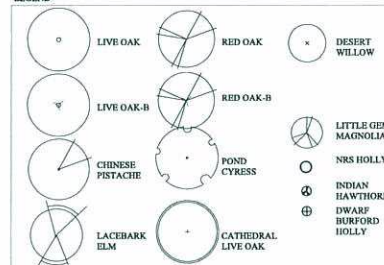
PARKING SPOTS	TREES PROVIDED
P1 28	8
P2 45	11
P3 9	4
P4 11	4
P5 32	8
P6 92	12
P7 111	15
328	62

TOTAL PARKING SPACES:	328
REQUIRED 1 TREE FOR	
EVERY 10 SPACES:	33 TREES REQ.
	62 TREES PROVIDED
	4 ORNAMENTAL TREES
	AT PARKING DIAMONDS
	70 TREES PROVIDED

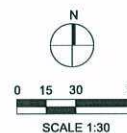
PLANT LIST

QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE/REMARKS
20	LIVE OAK	Quercus virginiana	4" caliper B&B 11' - 13' HT., 7-8" SP.
26	LIVE OAK-B	Quercus virginiana	3" caliper B&B 10' - 12' HT., 5-6" SP.
17	RED OAK	Quercus shumardii	4" caliper B&B 11' - 13' HT., 7-8" SP.
3	RED OAK-B	Quercus shumardii	3" caliper B&B 10' - 12' HT., 5-6" SP.
3	CHINESE PISTACHE	Pistacia chinensis	4" caliper B&B 11' - 13' HT., 7-8" SP.
11	LACEDARK ELM	Ulmus parvifolia	4" caliper B&B 11' - 13' HT., 7-8" SP.
22	CATHEDRAL LIVE OAK	Quercus virginiana 'Nuttall'	4" caliper B&B 8' - 9' HT., 4-5" SP.
6	POND CYPRUS	Taxodium ascendens	3" caliper B&B 8' - 9' HT., 4-5" SP.
34	LITTLE GEM MAGNOLIA	Magnolia grandiflora	1.5" caliper 5' - 6' HT., 3' - 4" SP.
	'Little Gem'		
22	DESERT WILLOW	Chilopsis	1.5" caliper 5' - 6' HT., 3' - 4" SP.
12	N.R.S. HOLLY	Ilex cornuta	30 gal. 48" HT., full, spaced 48" o.c.
	'Nellie R. Stevens'		
70	DWARF BURFORD HOLLY	Ilex cornuta	10 gal. 24" HT., full, spaced 36" o.c.
	'Dwarf Burford'		
87	INDIAN HAWTHORN	Raphiolepis indica	10 gal. 20" HT., full, spaced 36" o.c.
	'Majestic Beauty'		
171	DWARF MAIDEN GRASS	Miscanthus sinensis	5 gal. full, spaced 24" o.c.
	'Adagio'		
1,333	ASIAN JASMINE	Trachelospermum asiaticum	4" pot, full, spaced 18" o.c.
1,913	MONDO GRASS	Ophiopogon japonicus	4" pot, full, spaced 6" o.c.

LEGEND



VICINITY MAP



2916 Woodside St.
Dallas, Texas 75204
P: 817-247-8226



The Domain at Firewheel
Garland, Texas
Site Landscape Plan
EXHIBIT D

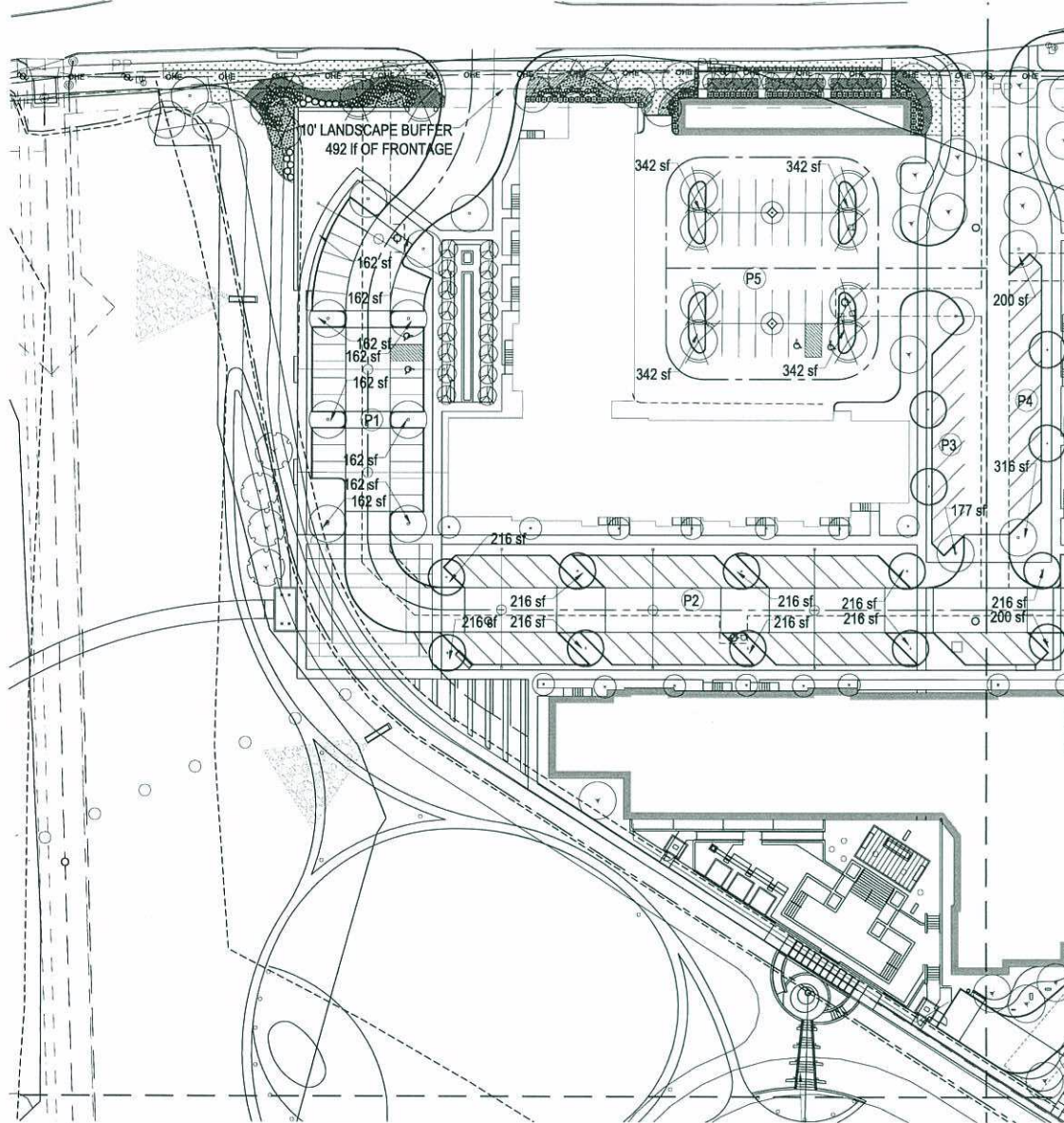


Project Number: 10-010.0
Drawn By: AL
Site Landscape Plan 02.17.2016

Revision: City Site Plan 03-04-2016
Comment: Response

LANDSCAPE PLAN

L 10.02



01

LANDSCAPE PLAN- AREA A

SCALE: 1" = 40'

CASE NUMBER 150827-2

LANDSCAPE DATA TABLE

ZONING REFERENCE NUMBER: 158827-2

LANDSCAPE AREA	TOTAL SITE AREA	IMPERVIOUS BUILDING/PARKING AREA	LANDSCAPE AREA PROVIDED	PER PD 12-13 REQUIRED
SITE AREA: 1,308,455sf = 30.038 Acres		300,425	77.1%	0
DEVELOPMENT SITE: 454,331sf = 10.43 Acres		300,425	33.9%	20% MIN.

LANDSCAPE BUFFER- BUNKER HILL ROAD

REQUIRED BUFFER LENGTH: 492'
 492' / 30' = 16.4 TREES REQUIRED
 20 TREES
 (3 TREES SUBSTITUTED W/ 3 ORNAMENTAL TREES EACH)

7 SHRUBS/ORNAMENTAL GRASSES FOR EACH REQUIRED BUFFER TREE:
 270 SHRUBS
 7 SHRUBS PER REQUIRED TREE

PARKING LOT SCREENING

PARKING SPOTS	TREES PROVIDED
P1 28	8
P2 45	11
P3 9	4
P4 11	4
P5 25	8
P6 92	12
P7 111	15
328	62

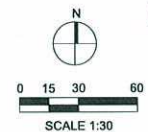
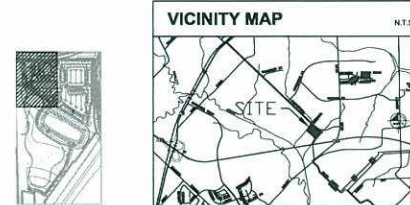
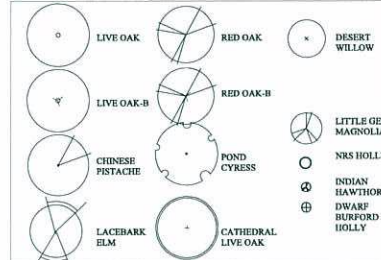
TOTAL PARKING SPACES: 328
 REQUIRED 1 TREE FOR EVERY 10 SPACES:

33 TREES REQ. 62 TREES PROVIDED
 -4 ORNAMENTAL TREES AT PARKING DIAMONDS
 -70 TREES PROVIDED

PLANT LIST

QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE/REMARKS
20	LIVE OAK	Quercus virginiana	4" caliper B&B 11' - 13' HT., 7'-8" SP.
26	LIVE OAK-B	Quercus virginiana	3" caliper B&B 10' - 12' HT., 5'-6" SP.
17	RED OAK	Quercus shumardii	4" caliper B&B 11' - 13' HT., 7'-8" SP.
5	RED OAK-B	Quercus shumardii	3" caliper B&B 10' - 12' HT., 5'-6" SP.
3	CHINESE PISTACHE	Paraficus chinensis	4" caliper B&B 11' - 13' HT., 7'-8" SP.
11	LACEDBARK ELM	Ulmus parvifolia	4" caliper B&B 11' - 13' HT., 7'-8" SP.
22	CATHEDRAL LIVE OAK	Quercus virginiana 'Crispa'	4" caliper B&B 8' - 9' HT., 4'-5" SP.
6	POND CYPRESS	Taxodium ascendens	3" caliper B&B 8' - 9' HT., 4'-5" SP.
54	LITTLE GEM MAGNOLIA 'Little Gem'	Magnolia grandiflora	1.5" caliper 5' - 6' HT., 3' - 4" SP.
22	DESERT WILLOW	Chilopsis	1.5" caliper 5' - 6' HT., 3' - 4" SP.
12	N.R.S. HOLLY	Ilex cornuta 'Nellie R. Stevens'	30 gal. 48" HT., full, spaced 48" o.c.
70	DWARF BURFORD HOLLY	Ilex cornuta 'Dwarf Burford'	10 gal. 24" HT., full, spaced 36" o.c.
87	INDIAN HAWTHORN	Raphiolepis indica 'Majestic Beauty'	10 gal. 20" HT., full, spaced 36" o.c.
171	DWARF MAIDEN GRASS	Miscanthus sinensis 'Adagio'	5 gal. full, spaced 24" o.c.
1,333	ASIAN JASMINE	Trachelospermum asiaticum	4" pot, full, spaced 18" o.c.
1,913	MONDO GRASS	Ophiopogon japonicus	4" pot, full, spaced 6" o.c.

LEGEND



2016 Woodside St.
 Dallas, Texas 75204
 P: 972-247-8226



The Domain at Firewheel Garland, Texas Site Landscape Plan EXHIBIT D

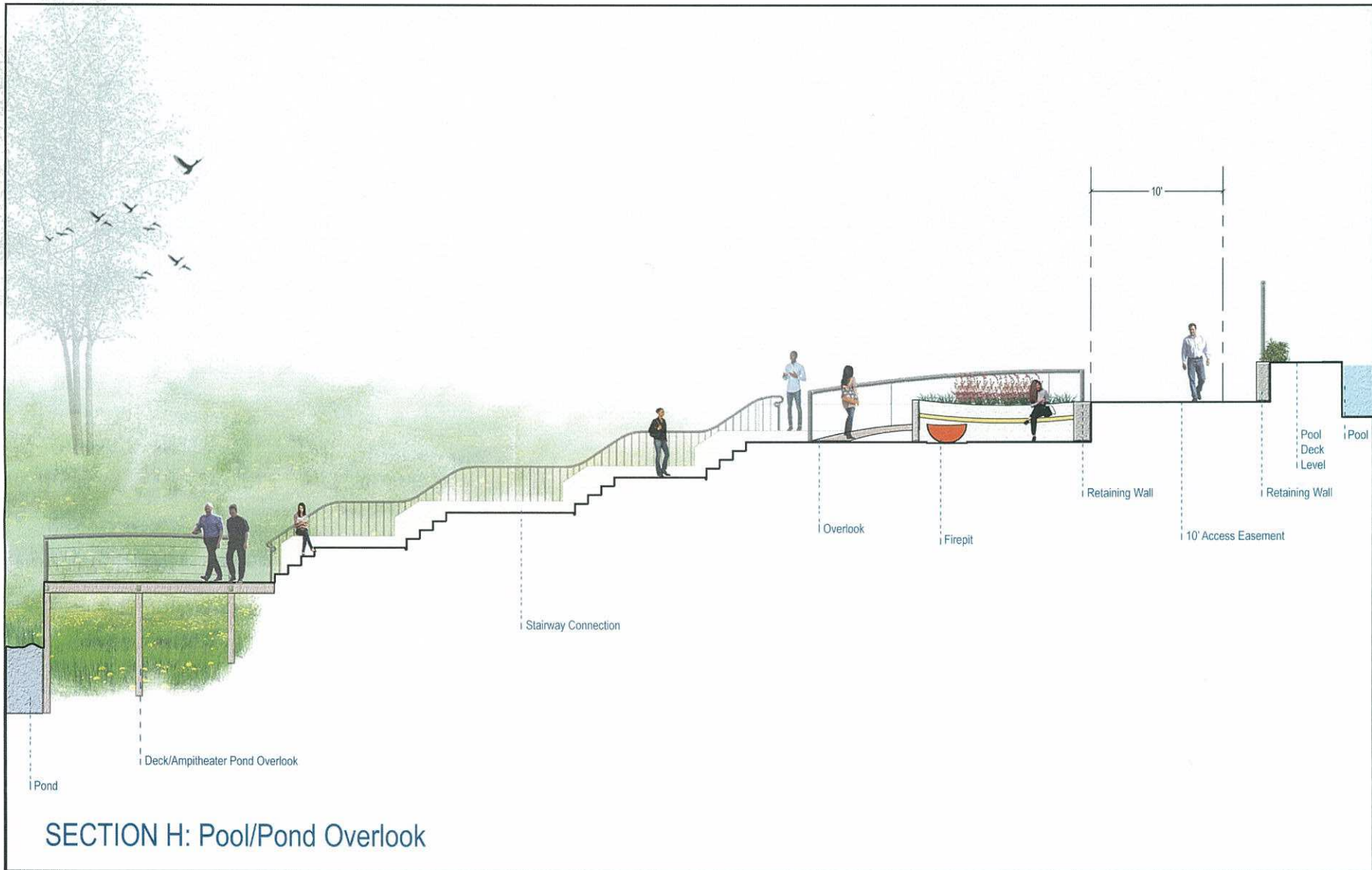


Project Number: 10-010.0
 Drawn By: BL
 Site Landscape Plan 02.17.2016
 Revision: City Site Plan 03-04-2016
 Comment Response

LANDSCAPE PLAN

L 10.00







01 Building I Parking Court
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 52% — Masonry Total - 73%
Stucco (3 coat) - 11%
Cementitious Siding (panel or lap) - 27%



06 Building I Back Elevation
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 62% — Masonry Total - 77%
Stucco (3 coat) - 15%
Cementitious Siding (panel or lap) - 23%



11 Building I Front Elevation
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 55% — Masonry Total - 75%
Stucco (3 coat) - 10%
Cementitious Siding (panel or lap) - 25%



16 Building IX Front Elevation
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 70% — Masonry Total - 70%
Stucco (3 coat) - 0%
Cementitious Siding (panel or lap) - 30%



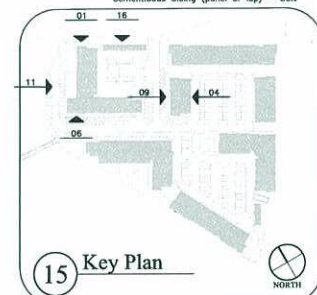
04 Building VIII Parking Court
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 54% — Masonry Total - 71%
Stucco (3 coat) - 17%
Cementitious Siding (panel or lap) - 29%



09 Building VIII Front Elevation
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 70% — Masonry Total - 70%
Stucco (3 coat) - 0%
Cementitious Siding (panel or lap) - 30%



15 Key Plan

BLDG I MASONRY PERCENTAGE

Front Elevation - 75%
Parking Court - 73%
Back Elevation - 77%
Side Elevation - 70%

73% AVERAGE MASONRY

BLDG VII MASONRY PERCENTAGE

Front Elevation - 70%
Parking Court - 71%
Side Elevation (x2) - 73%

72% AVERAGE MASONRY

BLDG IX MASONRY PERCENTAGE

Front Elevation - 70%
Parking Court - 77%
Pool Court 1 - 73%
Pool Court 2 - 73%

73% AVERAGE MASONRY

19 Material Averages

- 1 CEMENTITIOUS PANEL ACCESSIBLE BEIGE SW 7036
- 2 CEMENTITIOUS PANEL/SIDING BASKET BEIGE SW 6143
- 3 STUCCO BASKET BEIGE SW 6143
- 4 CEMENTITIOUS PANEL CONNECTED GREY SW 6165
- 5 BRICK ACME BROOKSHIRE
- 6 BRICK ACME WESTCHESTER

20 Material List

Project Number: 2015045.01

Drawn By: SI

Issued: 03.23.2011

© 2016 JHP
All Rights Reserved.
All materials embodied herein constitute an original work by the Architect; the Architect owns all copyrights herein. The viewer may not reproduce, display or distribute this work or prepare derivative works based on this work without the express written consent of the copyright owner.

NOTES:

1. Material area percentage is exclusive of door, window and entry openings.
2. Masonry includes brick and stucco.
3. All dimensions are approximate.

Sheet:

EXHIBIT E Garland Domain PHASE I Garland, Texas

ARCHO RESIDENTIAL LLC

Project Number: 2015045.01
Drawn By: SF
Issued: 03.23.2011

© 2011 JHP
All Rights Reserved.
All materials embodied herein constitute an original work by the Architect. The Architect owns all copyrights herein. The viewer may not reproduce, display or distribute this work or prepare derivative works based on this work without the express written consent of the copyright owner.

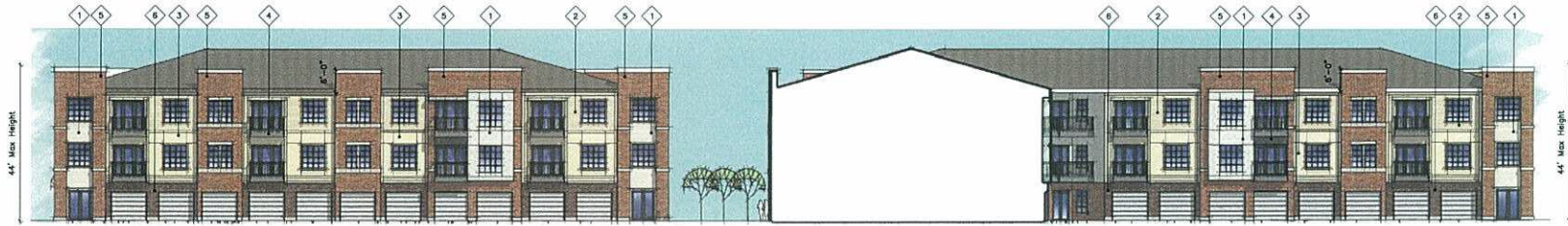
NOTES:

1. Material area percentage is exclusive of door, window and entry openings.
2. Masonry includes brick and stucco.
3. All dimensions are approximate.

Sheet:

A102

ARCHITECTURAL ELEVATIONS



01 Buildings VI Parking Court
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 52% — Masonry Total - 71%
Stucco (3 coat) - 19%
Cementitious Siding (panel or lap) - 29%

03 Buildings V Parking Court
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 52% — Masonry Total - 71%
Stucco (3 coat) - 19%
Cementitious Siding (panel or lap) - 29%



06 Buildings V Front Elevation
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 72% — Masonry Total - 72%
Stucco (3 coat) - 0%
Cementitious Siding (panel or lap) - 28%



08 Buildings VI Front Elevation
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 72% — Masonry Total - 72%
Stucco (3 coat) - 0%
Cementitious Siding (panel or lap) - 28%



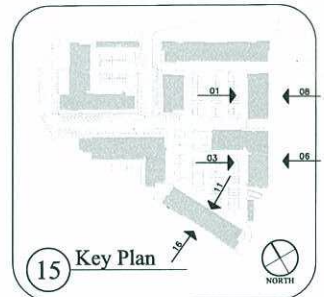
11 Building III Parking Court
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 52% — Masonry Total - 70%
Stucco (3 coat) - 18%
Cementitious Siding (panel or lap) - 30%



16 Building III Front Elevation
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 70% — Masonry Total - 70%
Stucco (3 coat) - 0%
Cementitious Siding (panel or lap) - 30%



15 Key Plan

BLDG V MASONRY PERCENTAGE
Front Elevation - 72%
Parking Court - 71%
Parking Court 2 - 72%
Parking Court 3 - 71%

72% AVERAGE MASONRY

BLDG VI MASONRY PERCENTAGE
Front Elevation - 72%
Parking Court - 71%
Side Elevation (x2) - 70%

71% AVERAGE MASONRY

BLDG III MASONRY PERCENTAGE
Front Elevation - 70%
Parking Court - 70%
Side Elevation (x2) - 75%

73% AVERAGE MASONRY

19 Material Averages

- 1 CEMENTITIOUS PANEL/ACCESSIBLE BEIGE SW 7036
- 2 CEMENTITIOUS PANEL/SIDING BASKET BEIGE SW 6143
- 3 STUCCO BASKET BEIGE SW 6143
- 4 CEMENTITIOUS PANEL CONNECTED GREY SW 8185
- 5 BRICK ACME BROOKSHIRE
- 6 BRICK ACME WESTCHESTER

20 Material List

EXHIBIT E Garland Domain PHASE I Garland, Texas

ARCHO RESIDENTIAL LLC

Project Number: 2015045.01
Drawn By: SP
Issued: 03.23.2011

© 2015 JHP
All Rights Reserved.
All materials embodied herein constitute an original work by the Architect. The Architect owns all copyrights herein. The viewer may not reproduce, display or distribute this work or prepare derivative works based on this work without the express written consent of the copyright owner.

NOTES:
1. Material area percentage is exclusive of door, window and entry openings.
2. Masonry includes brick and stucco.
3. All dimensions are approximate.

Sheet:

A103



01 Building VII Parking Court

Scale: 1/16" = 1'-0"

Material Percentages
Brick - 43%
Stucco (3 coat) - 23%
Cementitious Siding (panel or lap) - 30%
Masonry Total - 70%



06 Building VII Front Elevation

Scale: 1/16" = 1'-0"

Material Percentages
Brick - 72%
Stucco (3 coat) - 0%
Cementitious Siding (panel or lap) - 28%
Masonry Total - 72%



11 Building II Front Elevation

Scale: 1/16" = 1'-0"

Material Percentages
Brick - 70%
Stucco (3 coat) - 0%
Cementitious Siding (panel or lap) - 30%
Masonry Total - 70%



16 Building II Pool Court

Scale: 1/16" = 1'-0"

Material Percentages
Brick - 78%
Stucco (3 coat) - 0%
Cementitious Siding (panel or lap) - 22%
Masonry Total - 78%



15 Key Plan

BLDG VII MASONRY PERCENTAGE

Front Elevation - 71%
Parking Court - 70%
Side Elevation (x2) - 70%
70% AVERAGE MASONRY

BLDG II MASONRY PERCENTAGE

Front Elevation - 70%
Parking Court - 71%
Pool Court 1 - 78%
Pool Court 2 - 71%
72% AVERAGE MASONRY

19 Material Averages

- 1 CEMENTITIOUS PANEL
ACCESSIBLE BEIGE
SW 7035
- 2 CEMENTITIOUS PANEL/SIDING
BASKET BEIGE
SW 6143
- 3 STUCCO
BASKET BEIGE
SW 6143
- 4 CEMENTITIOUS PANEL
CONNECTED GREY
SW 6165
- 5 BRICK
ACME
BROOKSHIRE
- 6 BRICK
ACME
WESTCHESTER

20 Material List



01 Building II Pool Courtyard 2
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 70% — Masonry Total - 70%
Stucco (3 coat) - 0% —
Cementitious Siding (panel or lap) - 30%



06 Building I Parking Court 2
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 46% — Masonry Total - 71%
Stucco (3 coat) - 25% —
Cementitious Siding (panel or lap) - 29%



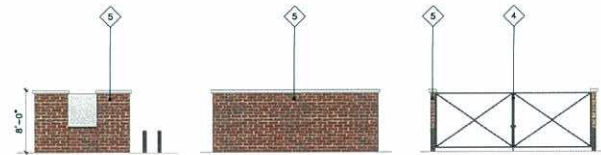
11 Building V Parking Court 2
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 54% — Masonry Total - 72%
Stucco (3 coat) - 18% —
Cementitious Siding (panel or lap) - 28%



16 Building II Parking Court
Scale: 1/16" = 1'-0"

Material Percentages
Brick - 63% — Masonry Total - 71%
Stucco (3 coat) - 8% —
Cementitious Siding (panel or lap) - 29%



04 Refuse Container Elevations
Scale: 1/8" = 1'-0"

Masonry - 80% at Building Elevations Viewed by Public

35% at Internal Parking Court Elevations

Other Materials: Cementitious Panels - 20% at Building Elevations Viewed by Public

Cementitious Panels - 15% at Internal Parking Court Elevations

Cementitious Siding - 50% at Internal Parking Court Elevations

Sloped Roofs to be at the Minimum Slope of 3.5/12 with Parapet Elements to Emphasize Urban Aesthetics Required by GDC.

Composition Shingles to be Architectural Grade Asphalt Shingles per Item C in Item 3. "Required Features" under Building Standards Zoning File 12-13 of Ordinance 6539.

Elevations comply with Articulation Requirements of Section (C) "Facade Articulation" in Chapter 4 of GDC.

Elevations meet Standards Established by Building Standards Item 3. "Required Features" under Building Standards Zoning File 12-13 of Ordinance 6539 except the following:

Item a: In Compliance except one 3 story over basement condition at building VII. Street facing elevation is 3 story, Parking Court Elevation has a basement on the lower level with Tuck under Garages and 2 living Units. Items n, p, q, r, s, t & u are Not Applicable

Item 4. "Optional Features" under Building Standards Zoning File 12-13 of Ordinance 6539.

Each Structure incorporates following items from this section to meet at least 4 of following features combinations: a, b, c, e, h, o.

Alternatively Elevations comply with GDC Chapter 4 Section 4.63 Item (B) Architectural Elements in combination of min 6 elements such as (a), (c), (e), (h), (i), (n), (o), (p).

All dimensions are approximate.

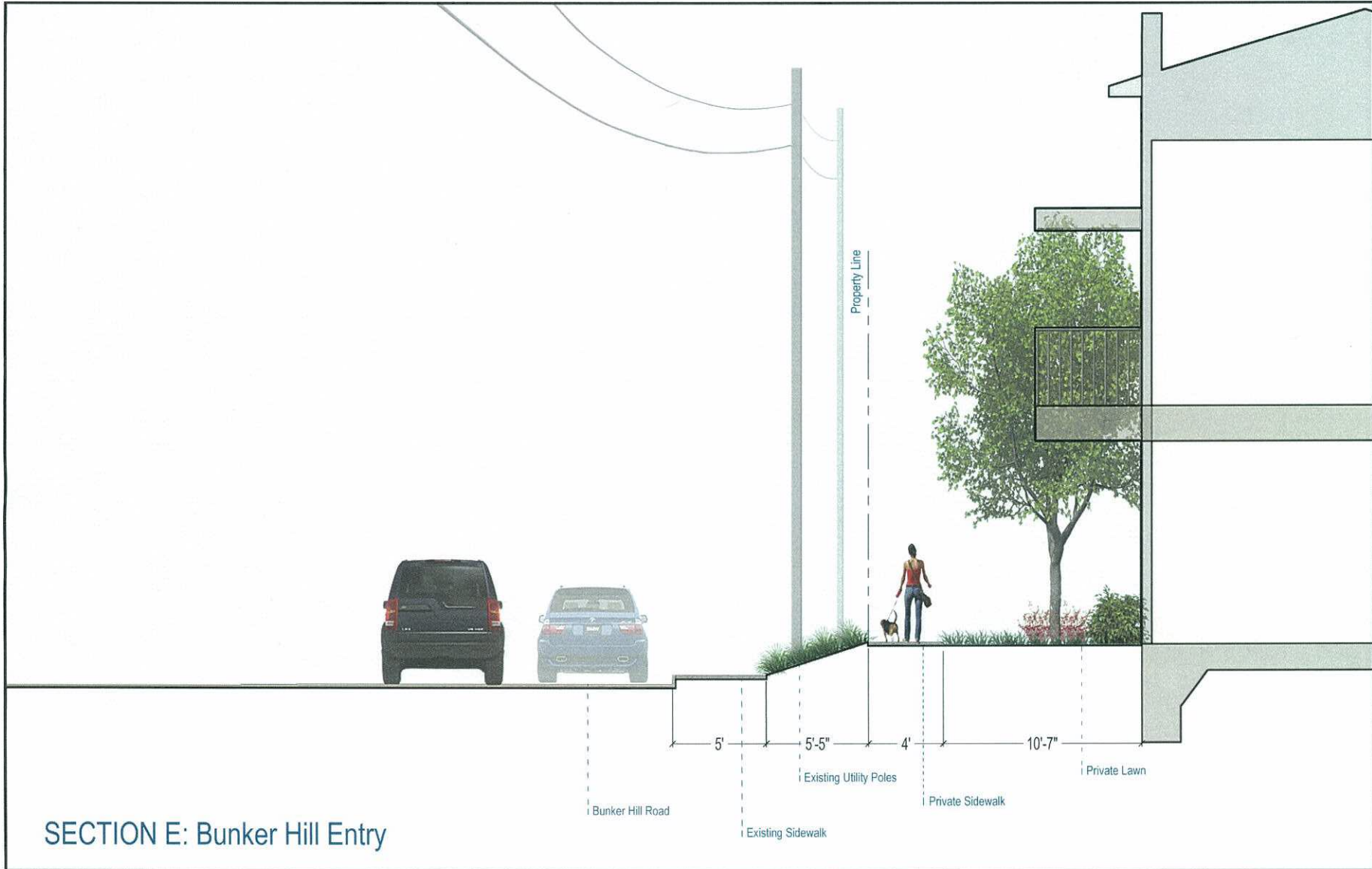
18 General Notes

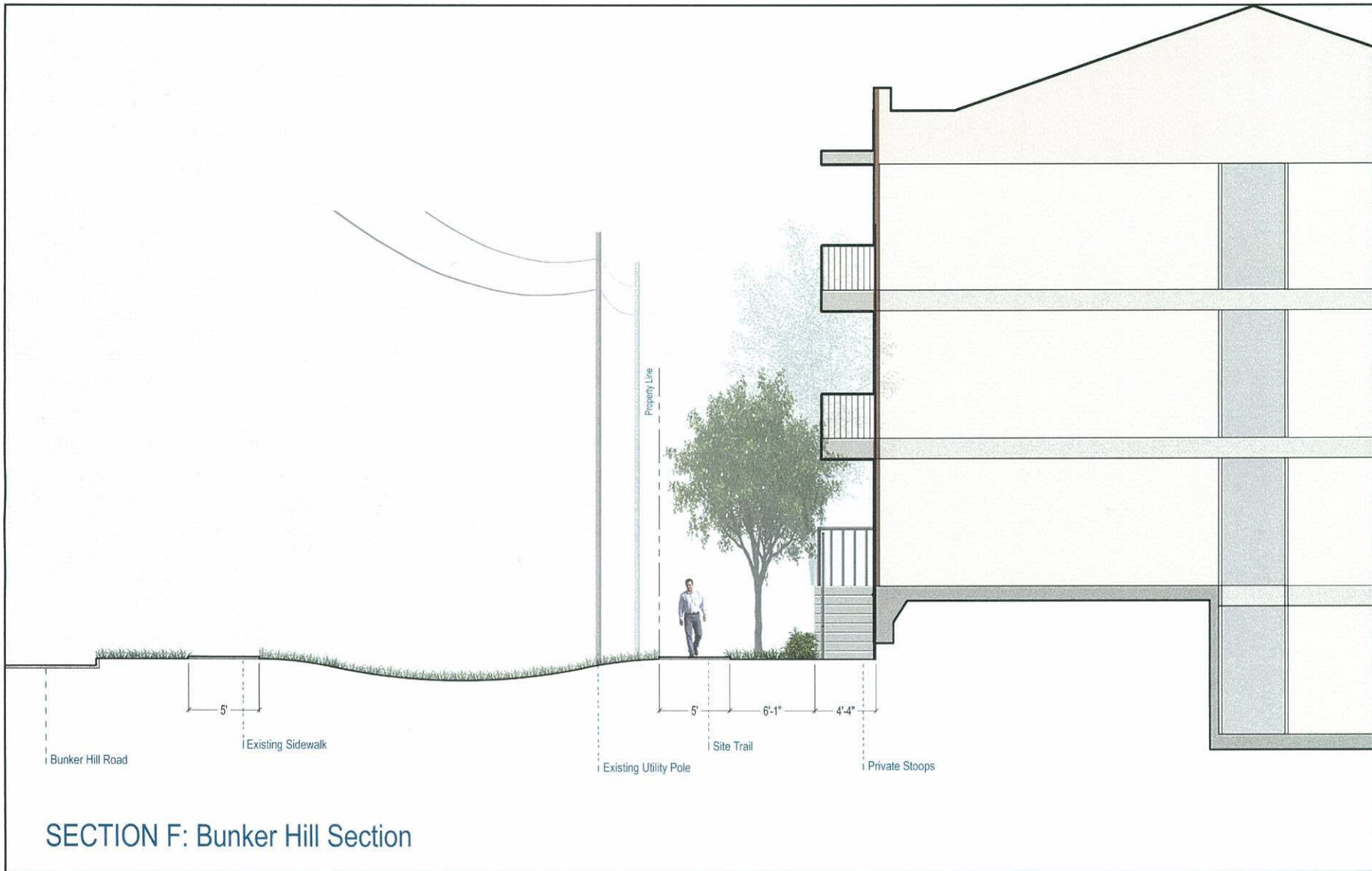
15 Key Plan



20 Material List

- 1 CEMENTITIOUS PANEL ACCESSIBLE BEIGE SW 203R
- 2 CEMENTITIOUS PANEL/SIDING BASKET BEIGE SW 6143
- 3 STUCCO BASKET BEIGE SW 6143
- 4 CEMENTITIOUS PANEL CONNECTED GREY SW 4165
- 5 BRICK ACME BROOKSHIRE
- 6 BRICK ACME WESTCHESTER





REPORT & MINUTES

P.C. Meeting, March 28, 2016 (8 Members Present)

Consideration of the application of Kimley-Horn & Associates, requesting approval of a 1) an amendment to Planned Development (PD) 15-40, 2) a Detail Plan for Multi-Family on property zoned Planned Development (PD) 15-40 for Multi-Family and 3) a variance to Section 2.39 (I)(1) regarding storage space size and location. This property is located south and west of Bunker Hill Road and north and west of Miles Road. (District 1) (File Z 16-06) (This item was postponed from the March 14, 2016 Plan Commission meeting.)

Representing the applicant Mark Denyer, PO Box 3575 Bartlesville, OK, provided a brief overview of the request and additional information regarding the external storage closet.

The applicant Jaime Ploetzner, 2108 Glendale Drive, Plano, TX 75023, provided additional information regarding the parking study.

Commissioner Moore expressed concern regarding possible limitations on available parking.

Chairman Roberts questioned staff on the management of storage and garage spaces.

Motion was made by Commissioner Luckie, seconded by Commissioner Dalton to close the Public Hearing and **approve** the request per staff recommendation. **Motion carried: 8 Ayes, 0 Nays.**



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

March 3, 2016

HEARING DATE/TIME: Plan Commission: March 14, 2016 – 7:00 PM

APPLICANT: Kimley-Horn and Associates

File: Z 16-06

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, March 14, 2016, in the Plaza Theater Building, 521 W. State Street, to consider the application of **Kimley-Horn and Associates**, requesting approval of 1) an amendment to Planned Development (PD) District 15-40; 2) a variance to Chapter 4, Article 6 Section 4.83 regarding masonry material percentages; and 3) a Detail Plan for Multi-Family Uses.

BEING an approximate 50-acre tract of a portion of that tract of land situated in Dallas County, Texas, out of the Daniel Crist Survey, Abstract 226, and being a part of that called 95 acres, 19.8 acres, and 68.73 acres described in a deed to Elizabeth H. Wilkins as recorded in Volume 93115, Page 592 of the Deed Records of Dallas County, Texas and being a portion of that tract of land described in a deed to W.T. Limerick as recorded in Volume 2121, Page 126 of the Deed Records of Dallas County. This property is located south and west of Bunker Hill Road and north and west of Miles Road. (District 1)

Note: Request is to amend Planned Development (PD) District 15-40, include variances to reduce the minimum masonry requirement from 80% to 35% on the interior faces of the multi-family buildings and approve the Detail Plan for Phase 1 of a multi-family development.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Isaac Williams at 972-205-2445.

(Please Check One Below)

☒ I am in favor of the request.

☐ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address

3502 Firewheel Pkwy

Printed Name

Michael E. Dyer Family, LTD

Address



Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature

Date:

3/10/14

Title

Gen Ptn, Trustee



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

March 3, 2016

HEARING DATE/TIME: Plan Commission: March 14, 2016 – 7:00 PM

APPLICANT: Kimley-Horn and Associates

File: Z 16-06

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, March 14, 2016, in the Plaza Theater Building, 521 W. State Street, to consider the application of **Kimley-Horn and Associates**, requesting approval of 1) an amendment to Planned Development (PD) District 15-40; 2) a variance to Chapter 4, Article 6 Section 4.83 regarding masonry material percentages; and 3) a Detail Plan for Multi-Family Uses.

BEING an approximate 50-acre tract of a portion of that tract of land situated in Dallas County, Texas, out of the Daniel Crist Survey, Abstract 226, and being a part of that called 95 acres, 19.8 acres, and 68.73 acres described in a deed to Elizabeth H. Wilkins as recorded in Volume 93115, Page 592 of the Deed Records of Dallas County, Texas and being a portion of that tract of land described in a deed to W.T. Limerick as recorded in Volume 2121, Page 126 of the Deed Records of Dallas County. This property is located south and west of Bunker Hill Road and north and west of Miles Road. (District 1)

Note: Request is to amend Planned Development (PD) District 15-40, include variances to reduce the minimum masonry requirement from 80% to 35% on the interior faces of the multi-family buildings and approve the Detail Plan for Phase 1 of a multi-family development.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Isaac Williams at 972-205-2445.

(Please Check One Below)

☐ I am in favor of the request.

☒ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

cutting cost to use approved but inferior pressed wood siding will result in inferior structures and eventually slum areas in Garland.

(Please complete the following information)

Your Property Address

James D. Lambert

Printed Name

1534 Ben Davis Rd

Garland, TX

75040

Address

City, State

Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

James D. Lambert

Signature

property owner

Title

Date: *3/10/16*

outside notification area