GARLAND

AGENDA

REGULAR MEETING OF THE CITY COUNCIL

City of Garland
Duckworth Building, Goldie Locke Room
217 North Fifth Street
Garland, Texas
August 2, 2016
7:00 p.m.

The City Council extends to each visitor a sincere welcome. We value your interest in your community and your participation in the meetings of this governing body. Regular meetings of the City Council are held the 1st and 3rd Tuesdays of each month, beginning at 7:00 p.m.; the City Council meets regularly in work sessions at 6:00 p.m. the Monday preceding each regular meeting.

The Duckworth Building is wheelchair accessible. Special parking is available on the north side of the building on Austin Street and may be accessed by a sloped ramp from the street to the door facing Fifth Street. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services must contact the City Secretary's Office at (972) 205-2404 at least two working days prior to the meeting so that appropriate arrangements can be made. BRAILLE IS NOT AVAILABLE.

CITY COUNCIL GOALS 2020

(Adopted by Resolution No. 9402 on December 20, 2005)

- **Sustainable quality development and redevelopment**
- **Financially stable government with tax base that supports community needs**
- **Defends rightful powers of municipalities**
- **Fully informed and engaged citizenry**
- **Consistent delivery of reliable City services**
- **Safe, family-friendly neighborhoods**
- **Embrace diversity**

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of Council, without discussion. Council has been briefed on these items at a previous work session and approval of the consent agenda authorizes the City Manager to implement each item. The Mayor will announce the agenda and provide an opportunity for members of the audience and the City Council to request that an item be removed and considered separately.

MAYORAL PROCLAMATIONS, RECOGNITIONS AND ANNOUNCEMENTS

The Mayor may present proclamations and recognize attendees or award winners, and may make announcements regarding upcoming City events and matters of interest to citizens. There will be no Council deliberations or votes on these matters.

1. Consider approval of the minutes of the July 19, 2016 Regular Meeting.

2. Consider approval of the following bids:

a. Utility Substation Services and Equipment — Bid No. 6629-16

National Field Services	**$150,000.00**

The purpose of this contract is to provide Utility Substation equipment, maintenance, testing, inspection, and repair services for the Garland Power and Light and TMPA Substations. This is a Term Contract with four optional renewals.

b. Underground Primary Cable — Bid No. 6653-16

Techline, Inc.	**$156,486.00**
Irby Utilities	**$126,713.60**
Total	**$283,199.60**

The purpose for this contract is to provide underground primary cable for Warehouse inventory to support Garland Power & Light's cable installation and replacement projects. This is a Term Contract with four optional renewals.

c. Ballistic Plates & Ballistic Helmets for Garland Police & City Marshals **Bid No. 6801-16**

Boydd Products, Inc.	**$119,707.00**
FirstSpear, LLC	**$190,135.77**
TOTAL	**$309,842.77**

The purpose of this contract is to place an order for an "Emergency Purchase" of Heavy Body Armor for all sworn members of the Garland Police Department and the Garland City Marshals.

d. Duck Creek Laboratory Building Demolition **Bid No. 6765-16**

Intercon Environmental, Inc.	**$118,844.10**

The purpose of this contract is to provide the asbestos and lead abatement and subsequent demolition of the existing laboratory building located at Duck Creek Wastewater Treatment Plant.

e. Process Improvement Services Contract **Bid No. 6816-16**

Celerity Consulting, LLC	**$100,000.00**

The purpose of this contract is to provide process improvement facilitation services for Development and other priority processes. This will be a Term Contract with four optional renewals.

3. Consider an ordinance approving a First Amendment to that certain Reimbursement Agreement between Wells Fargo Bank, National Association, and the City of Garland; resolving other matters incident and related thereto and providing an effective date.

Council is requested to approve an ordinance authorizing the City Manager to approve the amendment to the Reimbursement Agreement between the City and Wells Fargo National Bank.

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the City Secretary before speaking (cards are located at the entrance to the Council Chambers). The Mayor will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

4. Consider the appointment of a Deputy Mayor Pro Tem

In accordance with City Council Policy Article II, Section 8, "Who shall act as Mayor," the City Council may, at its discretion, choose to elect a deputy mayor pro tem to act as mayor when the Mayor and the Mayor Pro Tem are absent or disabled.

5. Proposal to Vote on Tax Rate for 2016-2017

In accordance with Chapter 26 of the State Property Tax Code, the Council must vote to place on the agenda of a future meeting an action item calling for the adoption of the ad valorem tax rate. This vote must be recorded and must specify the desired rate. This action is required as part of "Truth in Taxation" legislation surrounding setting ad valorem tax rates and does not commit Council to adopting the proposed ad valorem tax rate. Two public hearings will be held prior to the adoption of the proposed tax rate.

6. Presentation of the 2016-17 Proposed Budget

In accordance with the City Charter, the City Manager shall submit to the City Council, prior to August 15, a Proposed Budget for the upcoming fiscal year. The City Manager will formally present his Proposed Budget for 2016-17. Following the presentation to Council, copies of the Proposed Budget will be placed in each City library, in the Office of the City Secretary, and on the City's website for public review and inspection.

7. Hold public hearings on:

a. Council is requested to consider the application of Charles Hicks, requesting approval of 1) a zoning change from Agriculture (AG) District to Planned Development (PD) for Single-Family-5 (SF-5) Uses and 2) a Concept Plan for Dwelling, Single-Family Detached. This property is located at the northeast corner of Brand Road and Campbell Road. (File Z 16-05, District 1)

The applicant seeks approval of a zoning change and a Concept Plan to develop the site with a single-family subdivision.

b. Consider the application of Baldwin Associates, requesting approval of a Specific Use Provision for a Charter School on a property zoned Single-Family-7 (SF-7) District. This property is located at 2256 Arapaho Road. (File Z 16-20, District 7)

The applicant proposes to operate a charter high school from the existing building.

c. Council is requested to consider the application of Jacobs Engineering Group, Inc., requesting approval of 1) an amended Concept Plan for Dwelling, Single-Family Detached; Dwelling, Multi-Family; Elder Care-Independent Living and Restaurant, 2) a Detail Plan for Dwelling, Single-Family Detached on a property zoned Planned Development (PD) District 15-45 for Single-Family-5 (SF-5) Uses, Multi-Family Uses and Limited Community Office Uses and 3) an alley waiver. This property is bounded by Holford Road to the northwest, Spring Creek Forest Preserve to the northeast, North Garland Avenue to the southeast and Arapaho Road to the southwest. (File Z 16-16, District 7)

The applicant proposes to develop a portion of the property described above with a single-family subdivision.

d. Consider the application of Serene Global, requesting approval of (1) an amendment to the Envision Garland Plan Future Land Use Map from "Parks & Open Space (Public and Private)" to "Traditional Neighborhoods;" (2) a zoning change from Agriculture (AG) District to Planned Development (PD) District for Single-Family-10 (SF-10) Uses and 3) a Concept Plan for Dwelling, Single-Family Detached. This property is located at 2401 and 2601 Brand Road. (File LU 16-01, District 1)

The applicant seeks approval of an amendment to the Envision Garland Plan Future Land Use Map and of a zoning change and a Concept Plan, to develop the site with single-family subdivision.

8. Consider appointments to Boards and Commissions.

Board members are selected for two-year terms by the City Council in August. Terms are usually staggered whereby at least half of the membership has board experience. Board members are appointed based on qualifications.

Council Member Stephen W. Stanley

- Katherine Sinclair - Garland Youth Council

Council Member Lori Barnett Dodson

- Jazmin Escamilla - Garland Youth Council

Council Member Jim Cahill

- Emily Crow - Garland Youth Council
- Anthony Tyson - Garland Youth Council

9. Citizen comments.

Persons wishing to address issues not on the agenda may have three minutes to address Council at this time. Council is prohibited from discussing any item not posted according to the Texas Open Meetings Act.

10. Adjourn.

All Regular Council meetings are broadcast live on CGTV, Time Warner Cable Channel 16, and Verizon FIOS TV 44. Meetings are rebroadcast at 9:00 a.m. and 7:00 p.m. on Wednesday-Sunday and at 7:30 p.m. on Thursday. Live streaming and on-demand videos of the meetings are also available online at www.garlandtx.gov. Copies of the meetings can be purchased through the City Secretary's Office – audio CD's are $1 each and DVD's are $3 each.

GARLAND

City Council Regular Session Agenda **Agenda Item 1.**

Meeting Date: August 2, 2016

Item Title:

Submitted By: Rene Dowl, City Secretary, City Secretary

Summary:

Consider approval of the minutes of the July 19, 2016 Regular Meeting.

Attachments

Minutes July 19, 2016

The City Council of the City of Garland convened in regular session at 7:00 p.m. on Tuesday, July 19, 2016, in the Goldie Locke Room at The Duckworth Building, 217 North Fifth Street, Garland, Texas, with the following members present:

COUNCIL PRESENT:

Mayor	Douglas Athas
Mayor Pro Tem	B. J. Williams
Deputy Mayor Pro Tem	Lori Dodson
Council Member	David Gibbons
Council Member	Anita Goebel
Council Member	Stephen Stanley
Council Member	Rich Aubin
Council Member	Scott LeMay
Council Member	James Cahill

STAFF PRESENT:	City Manager	Bryan L. Bradford
	City Attorney	Brad Neighbor
	City Secretary	Eloyce René Dowl

CALL TO ORDER: The meeting was called to order by Mayor Douglas Athas. Council Member Rich Aubin led the pledge and invocation.

CEREMONIALS: Mayor Athas presented Ron Young, Budget Director and his staff members: Allyson Bell, Trent Schulze, Andrew Larkin, Matt Watson, and Sherry Bennett, with the Governance Finance Officers Association Distinguished Budget Presentation Award.

Mayor Athas, along with Mayor Pro Tem B. J. Williams, presented a proclamation to Heather Miller and the Buddy League, proclaiming July 2016 to be Buddy League Month.

Mayor Athas, along with Mayor Pro Tem B. J. Williams, presented a proclamation to Chris Phelan, proclaiming July 19 to be Ride of Silence Day.

Pastor Jerry Nichols provided information on the 8th Annual Senior Awareness Day July 27.

Mayor Athas gave a statement of support for our Police Officers and encouraged citizens to support our Police Officers by starting a personal campaign of support, e.g. blue ribbons on trees and door knobs.

CONSENT AGENDA: All items marked with asterisks (**) on the Consent Agenda were voted on at the beginning of the meeting. Mayor Athas read those items into the record. Motion was made by Council Member Aubin to approve the consent agenda, seconded by Deputy Mayor Pro Tem Dodson to approve items 1, 2a, 3a, 4, and 5. Motion carried, 9 ayes, 0 nays.

1. APPROVED** Approval of the Minutes of the July 5, 2016 Regular Meeting.

2a. APPROVED** Bid No. 4515-14 to R-Delta Engineers in the amount of $240,500.00 for Change Order #2 to PO 22088 for the Wylie-Firewheel Transmission Line Reconstruction.

The purpose of this contract is to provide additional professional engineering services necessary for reconstruction of 138 kV transmission lines between the Olinger Line and the Firewheel Substation.

3a. APPROVED** Ordinance No. 6844 amending the Garland Development Code of the City of Garland, by approving 1) a Specific Use Provision for fuel pumps, retail, and 2) a Specific Use Provision for restaurant, drive-through on a 1.55-acre tract of land zoned Community Retail (CR) District and located at 3036 Broadway Boulevard; providing for conditions, restrictions, and regulations; providing a penalty under the provisions of Sec. 10.05 of the Code of Ordinances of the City of Garland,; providing a savings clause and a severability clause; and providing an effective date. (File Z 16-18, The Dimension Group, District 5)

4. APPROVED** Ordinance No. 6845 amending Section 33.28(C) of Chapter 33, “Transportation,” of the Code of Ordinances of the City of Garland; providing a penalty under the provisions of Sec. 10.05 of the Code of Ordinances of the City of Garland; providing a savings clause and a severability clause; and providing an effective date.

5. APPOINTED** Appointment by minute action of James Ratliff to the Texas Municipal Power Agency Board of Directors.

6. APPOINTED

Appointment of the Mayor Pro Tem from among its members. In accordance with Article III, Section 4 of the City Charter (relating to the appointment of a Mayor Pro Tem).

Mayor Athas called for nominations by ballot for the office Mayor Pro Tem. He asked if any members did not want to be considered for Mayor Pro Tem. Council Members Gibbons and Aubin, by a show of hands, did not want to be included in the vote.

Ballots were cast and results for the first vote were:

- Scott LeMay 4 votes
- Anita Goebel 3 votes
- Stephen Stanley 2 votes

The first vote did not result in a majority for any candidate and a second round of ballots were cast for the two highest, with the following results:

- Scott LeMay 7 votes
- Anita Goebel 2 votes

Scott LeMay was appointed as the Mayor Pro Tem.

7a. APPROVED

Consider the application of Tailim Song, requesting approval of 1) a Detail Plan for Fuel Pumps, Retail; Convenience Store; Restaurant; and Retail Store on a property zoned Planned Development (PD) District 03-40/41 for Heavy Commercial Uses and 2) an amendment to Planned Development (PD) District 03-40/41. This property is located at 1012-1020 South First Street (File No. Z 16-11, District 2). This request was postponed from the July 5, 2016 Regular Meeting.

The applicant proposed to redevelop the property with a gas station and a two-tenant building with a convenience store and a restaurant or retail.

Mayor Athas opened the discussion at 7:34 p.m., stating that there is a motion on the table from July 5. The speakers on this item were Will Guerin, Director of Planning and Rick Vasquez, Managing Director of Planning and Community Development. Mayor Athas re-opened the public hearing at 7:41 p.m., allowing Tailim Song and Amy Hsu to testify on behalf of their client. Motion was made by Council Member Goebel to approve the Detail Plan (DP) for Fuel Pumps, Retail; Convenience Store; Restaurant; and Retail Store and deny the sign amendment to the Planned Development (PD), seconded by Council Member Stanley, Council Member Cahill made a motion to amend the motion, allowing a pole sign 15 ft. in height, 125 sq. ft. maximum width, with a minimum setback of 4 ft., seconded by Council Member B. J. Williams. The amendment failed with 2 ayes (Council Members Cahill and Williams), 7 nays (Mayor Athas, Mayor Pro Tem LeMay, Deputy Mayor Pro Tem Dodson, Council Members Goebel, Stanley, and Aubin). A vote was cast on the original motion to close the hearing at 8:21 p.m. Motion carried 9 ayes, 0 nays.

7b. POSTPONED

Consider the application of Charles Hicks, requesting approval of 1) a zoning change from Agriculture (AG) District to Planned Development (PD) for Single-Family-5 (SF-5) Uses and 2) a Concept Plan for Dwelling, Single-Family Detached. This property is located at the northeast corner of Brand Road and Campbell Road. (File No. Z 16-08, District 1)

The applicant seeks approval of a zoning change and a Concept Plan to develop the site with a single-family subdivision.

The applicant formally requested to postpone to the August 2, 2016 Regular Meeting.

8. APPOINTED

The following names were placed in nomination for the Garland Youth Council and a vote was cast with 9 ayes, 0 nays.

Mayor Douglas Athas

- Justice Dickson
- Riley Niksich

Council Member David Gibbons

- Taylor Enslin
- Cameron Glick

Council Member Anita Goebel

- Erick Zamora
- Stephanie Hernandez

Council Member Stephen Stanley

- Savannah Anglin

Mayor Pro Tem B. J. Williams

- Esther Akapo
- Paola Jazmin

Council Member Rich Aubin

- Grace Omer
- Jade Martinez

Deputy Mayor Pro Tem Lori Barnett Dodson

- Samuel Trevor Newman

Council Member Scott LeMay

- Max Moeck
- Megan May

9. CITIZEN COMMENTS: Louis Rico

10. ADJOURN: There being no further business to come before the City Council, Mayor Athas adjourned the meeting at 8:24 p.m.

CITY OF GARLAND, TEXAS

/s/ Douglas Athas, Mayor

/s/ Eloyce René Dowl, City Secretary

GARLAND
PURCHASING REPORT

City Council Regular Session Agenda **Agenda Item 2. a.**

Meeting Date: August 2, 2016
Item Title: Utility Substation Services and Equipment
Submitted By: Ross Owen, Director of Transmission & Distr

PURCHASE JUSTIFICATION:

The purpose of this contract is to provide Utility Substation equipment, maintenance, testing, inspection, and repair services for the Garland Power and Light and TMPA Substations. This is a Term Contract with four (4) optional renewals.

AWARD RECOMMENDATION:

Vendor	***Item***	***Amount***
National Field Services	All	$150,000.00
	TOTAL:	**$150,000.00**

Fiscal Impact

Total Project/Account:	$3,184,866
Expended/Encumbered to Date:	2,825,129
Balance:	$359,737
This Item:	150,000
Proposed Balance:	$209,737
Account #:	211-3524, 3711-6051

Fund/Agency/Project – Description and Comments:

Electric Operating Budget - 211-3542-6051, 211-3711-6051

Bid #6629-16

Attachments

Executive Summary
Bid Recap

Fiscal Reference:

Fiscal Year: 2015-16

Document Location: P. 210

Budget Director Approval:
Ron Young

Approval Date:
07/27/2016

Purchasing Director Approval:
Gary L. Holcomb

Approval Date:
07/27/2016

GARLAND

PURCHASING EXECUTIVE SUMMARY

Bid 6629-16
Utility Substation Services and Equipment

Recommended Vendor:
National Field Services

Total Recommended Award:
$150,000.00

Basis for Award:
Best Value

Purpose:
The purpose of this contract is to provide Utility Substation equipment maintenance, testing, inspection, and repair services for GP&L and TMPA Substations. This is a Term Contract with four (4) optional renewals.

Evaluation:
Requests for bids were issued in accordance with Purchasing procedures. Two (2) bids were received and evaluated based on the criteria of: price; experience and reputation of contractor; emergency response time; proof of OSHA compliance; primary contractor work percentage; past positive working relationship with the City of Garland. National Field Services offered the lowest overall price and received the highest evaluated score, offering the best value for the City.

Recommendation:
Staff recommends awarding the contract to National Field Services as the vendor offering the best value for the City.

Funding Information:
211-3711-6051; 211-3542-6051

Department Director:
Ross Owen, Transmission & Distribution Director, 972-205-3532

CITY OF GARLAND - BID RECAP SHEET
OPENED: 06/21/16
REQ. NO. PR 36393
BID NO. 6629-16
PAGE: 1 of 1
BUYER: T. Smith

ITEM	QTY	UNIT	DESCRIPTION	National Field Services		Irby Construction Co.					
				UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	1	Lt.	Bid Price for Evaluation		$24,600.00		$26,994.00				
			Evaluation Criteria:								
			Price	Maximum=40	40		36.1				
			Experience	Maximum=20	20		15				
			Emergency Response Time	Maximum=15	15		10				
			Primary Contractor Work Completion	Maximum=10	10		0				
			Safety	Maximum=10	10		10				
			Past Positive Relationship with City	Maximum= 5	5		0				
					100		71.1				
			TOTAL GROSS PRICE		$24,600.00		$26,994.00				
			CASH DISCOUNT								
			TOTAL NET PRICE								
			F.O.B.	DELIVERED		DELIVERED		DELIVERED		DELIVERED	
			DELIVERY								

NEXT LOW:
LOW:
SAVINGS: **$0.00**

143 # IonWave Notifications
IonWave HUBS
16 # Direct Contact HUBS
0 # HUBS Responded

All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.

GARLAND
PURCHASING REPORT

City Council Regular Session Agenda **Agenda Item 2. b.**

Meeting Date: August 2, 2016

Item Title: Underground Primary Cable

Submitted By: Gary Holcomb, Purchasing Director

PURCHASE JUSTIFICATION:

The purpose of this contract is to provide underground primary cable for Warehouse inventory to support Garland Power & Light's cable installation and replacement projects. This is a Term Contract with four (4) optional renewals. Quantities are estimated and may be more or less based on actual needs. Unit pricing may be adjusted based on fluctuations in the metal commodities.

AWARD RECOMMENDATION:

Vendor	***Item***	***Amount***
Techline, Inc.	1	$156,486.00
Irby Utilities	2	$126,713.60
	TOTAL:	**$283,199.60**

Fiscal Impact

Total Project/Account:	N/A
Expended/Encumbered to Date:	N/A
Balance:	N/A
This Item:	$283,199.60
Proposed Balance:	N/A
Account #:	451-1300

Fund/Agency/Project – Description and Comments:

Electric Operating Budget - Items will be expensed to appropriate account as issued.

Bid #6653-16

Attachments

Bid Recap
Executive Summary

Fiscal Reference:

Budget Type:	Operating Budget
Fiscal Year:	2015-16
Document Location:	P. 210

Budget Director Approval:	**Approval Date:**
Ron Young	07/27/2016
Purchasing Director Approval:	**Approval Date:**
Gary Holcomb	07/27/2016

CITY OF GARLAND - BID RECAP SHEET
OPENED: 06/30/16
REQ. NO. 36158
BID NO. 6653-16
PAGE: 1 of 1
BUYER: Bob Bonnell, C.P.M., MCP

ITEM	QTY	UNIT	DESCRIPTION	Irby Utilities UNIT PRICE	Irby Utilities TOTAL	Techline UNIT PRICE	Techline TOTAL	Anxiter UNIT PRICE	Anxiter TOTAL	UNIT PRICE	TOTAL
1	22,000	FT	Cable AL 1000 MCM 25KV	$7.918	$174,196.00	$7.113	$156,486.00	$7.700	$169,400.00		
2	83,200	FT	Cable AL 2/0 15KV	$1.523	$126,713.60	$2.457	$204,422.40	$2.420	$201,344.00		
			TOTAL GROSS PRICE		$300,909.60		$360,908.40		$370,744.00		
			CASH DISCOUNT								
			TOTAL NET PRICE		$300,909.60		$360,908.40		$370,744.00		
			F.O.B.	DELIVERED		DELIVERED		DELIVERED		DELIVERED	
			DELIVERY								

20 # IonWave Notifications
4 # IonWave HUBS
9 # Direct Contact HUBS
0 # HUBS Responded

All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. <u>The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.</u>

GARLAND
PURCHASING EXECUTIVE SUMMARY

Bid 6653-16
Underground Primary Cable

Recommended Vendor:
Techline, Inc.
Irby Utilities

Total Recommended Award:
$283,199.60

Basis for Award:
Straight Low Bid

Purpose:
The purpose of this contract is to provide underground primary cable for Warehouse inventory to support Garland Power & Light's cable installation and replacement projects. This is a term contract with four (4) optional renewals.

Evaluation:
Requests for bids were issued in accordance with Purchasing procedures. Three (3) bids were received and evaluated. Techline, Inc. was straight low bidder on item 1 and Irby Utilities was straight low bidder on item 2.

Recommendation:
Staff recommends awarding the term contract for underground primary cable to Techline, Inc. and Irby Utilities.

Funding Information:
Warehouse Inventory Account 451-1300 will be expensed to operating and CIP accounts as issued.

Department Director:
Gary L. Holcomb, Director of Procurement, 972-205-2425

GARLAND
PURCHASING REPORT

City Council Regular Session Agenda **Agenda Item 2. c.**
Meeting Date: August 2, 2016
Item Title: Ballistic Plates & Ballistic Helmets for Garland Police & City Marshals
Submitted By: Mitch Bates, Chief of Police

PURCHASE JUSTIFICATION:

The recent shootings (20) and murders (8) of Police officers in **Dallas** (14 officers) and **Baton Rouge** (6 officers) have shocked our community and our nation. In both cases, the lone suspect used a ***high-powered assault rifle*** to actively pursue and "hunt" the officers seeking to kill them with no provocation other than the suspect's own personal motivations. In addition, individual officers have recently been shot with some killed in many other states. ***SWAT Teams*** are traditionally outfitted with ***heavy body armor*** due to their response to inherently dangerous situations. However, due to the extreme weight of this heavy armor, it cannot be worn at all times (only for short durations during a SWAT call or similar incident). But, all other 1st-responding officers (in Garland and throughout the nation) are provided with ***traditional soft body armor*** which provides protection from bullets from handguns, but not from rifles.

We continue to receive information from our local, state, and federal law enforcement partners that the ***immediate danger continues to be real*** for police officers nationwide. A recent joint bulletin from the **FBI** and **Department of Homeland Security (DHS)** has indicated these extreme dangers still continue for all of law enforcement.

To protect our officers, Chief Bates is requesting that we **immediately** place an order for an "**Emergency Purchase**" of ***Heavy Body Armor*** for all sworn members of the Garland Police Department and the Garland City Marshals which includes:

- ***Ballistic Plates & Carrier***
- ***Ballistic Helmet & Face-Shield***
- ***Heavy-duty Carry Bags*** (equipment weighs more than 30 lbs.)

A ballistic plate carrier and helmet would be provided to each officer. Due to the total weight of both items (more than 30 lbs.), the officers would not wear them at all times.

They would carry this set of safety equipment with them in their police vehicles to be deployed only in active shooter or other similar situations where a rifle is believed to be involved.

Our ***Police Command Staff*** and ***SWAT Team Chain of Command*** have researched and selected the best and most appropriate equipment for our Police officers.

AWARD RECOMMENDATION:

Vendor	***Item***	***Amount***
Boydd Products, Inc.	1	$119,707.00
FirstSpear, LLC	2	$190,135.77
	TOTAL:	**$309,842.77**

Fiscal Impact

Total Project/Account:	$2,245,058
Expended/Encumbered to Date:	1,441,303
Balance:	$803,755
This Item:	309,843
Proposed Balance:	$493,912
Account #:	100-1221-600504, 100-1023-600504

Fund/Agency/Project – Description and Comments:

The purchase will be made from operating budgets of the Police Department and City Marshal's Office, and will be split as follows:

100-1221-600504 - $299,360.01
100-1023-600504 - $10,482.76

Total - $309,842.77

Bid #6801-16

Attachments

Bid Recap
Executive Summary

Fiscal Reference:

Budget Type: Operating Budget
Fiscal Year: 2015-16

Budget Director Approval: Ron Young
Approval Date: 07/27/2016

Purchasing Director Approval: Gary L. Holcomb
Approval Date: 07/27/2016

CITY OF GARLAND - BID RECAP SHEET
OPENED: 07/27/2016
REQ. NO. PR 36672 & 36669
BID NO. 6801-16 PAGE: 1 of 1
BUYER: Joel J. Wilson

ITEM	QTY	UNIT	DESCRIPTION	FirstSpear, LLC UNIT PRICE	FirstSpear, LLC TOTAL	Boydd Products, INC. UNIT PRICE	Boydd Products, INC. TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	1	Lt	Ballistic plates and carriers		$190,135.77						
2	1	Lt	Ballistic helmets and face shields				$119,707.00				
			TOTAL GROSS PRICE		$190,135.77		$119,707.00				
			CASH DISCOUNT								
			TOTAL NET PRICE		$190,135.77		$119,707.00				
			F.O.B.	DELIVERED		DELIVERED		DELIVERED		DELIVERED	
			DELIVERY								

NEXT LOW:
LOW:
SAVINGS: **$0.00**

0 # IonWave Notifications
0 # IonWave HUBS
0 # Direct Contact HUBS
0 # HUBS Responded

All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.

GARLAND

PURCHASING EXECUTIVE SUMMARY

Bid 6801-16
Ballistic Plates & Ballistic Helmets for Garland Police & City Marshals

Recommended Vendor:

FirstSpear, LLC
Boydd Products, Inc.

Total Recommended Award:

FirstSpear, LLC	$190,135.77
Boydd Products, Inc.	$119,707.00
	$309,842.77

Basis for Award:

Emergency

Purpose:

The purpose of this award is to provide heavy body armor for the protection of sworn Police personnel and City Marshals. Police officers in Garland and throughout the nation are provided with traditional soft body armor which provides protection from handgun bullets, but not rifle bullets. Heavy body armor is necessary to provide protection for sworn Police personnel and the City Marshals from rifle bullets.

Evaluation:

After extensive research and evaluation by Police Command Staff and SWAT Team Chain of Command, FirstSpear, LLC and Boydd Products, Inc. have been selected as offering the best and most appropriate equipment for the safety of our Police officers. This is an emergency purchase to protect lives of sworn Police personnel and City Marshals responsible for the public safety of the City.

Recommendation:

Staff recommends awarding the purchase of ballistic plate carriers and heavy-duty carry bags to FirstSpear, LLC and the purchase of ballistic helmets and face-shields to Boydd Products, Inc.

Funding Information:

100-1221-600504	$299,360.01
100-1023-600504	$ 10,482.76

Department Director:

Mitch Bates, Chief of Police, 972-205-2011

GARLAND
PURCHASING REPORT

City Council Regular Session Agenda **Agenda Item 2. d.**

Meeting Date: August 2, 2016

Item Title: Duck Creek Laboratory Building Demolition

Submitted By: Ginny Holliday, Facilities Management Director

PURCHASE JUSTIFICATION:

The purpose of this contract is to provide the asbestos and lead abatement and subsequent demolition of the existing laboratory building located at Duck Creek Wastewater Treatment Plant. These services are being provided through the TXMAS Contract 13-899020. This is a Capital Improvement project, and expenditures will not exceed appropriated funds.

AWARD RECOMMENDATION:

Vendor	***Item***	***Amount***
Intercon Environmental, Inc.	1	$118,844.10
	TOTAL:	**$118,844.10**

Fiscal Impact

Total Project/Account:	$201,177
Expended/Encumbered to Date:	18,967
Balance:	$182,210
This Item:	118,844
Proposed Balance:	$63,366
Account #:	235-4239-3403900-9002

Fund/Agency/Project – Description and Comments:

Wastewater Cash-Funded CIP / Wastewater Treatment / Duck Creek Laboratory Building Demolition

Account #235-4239-3403900-9002

Attachments

Bid Recap
Executive Summary

Fiscal Reference:

Budget Type:	CIP
Fiscal Year:	2016
Document Location:	Page WW21

Budget Director Approval:
Ron Young

Approval Date:
07/28/2016

Purchasing Director Approval:
Gary Holcomb

Approval Date:
07/28/2016

CITY OF GARLAND - BID RECAP SHEET OPENED: 07/14/16 REQ. NO. BID NO. 6765-16 PAGE: 1 of 1 BUYER: G. Trampe				Intercon Environmental, Inc.							
ITEM	QTY	UNIT	DESCRIPTION	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	1	ea	Asbestos abatement	$118,844.10	$118,844.10						
			Lead abatement								
			Demolition of lab building								
			TOTAL GROSS PRICE		$118,844.10						
			CASH DISCOUNT								
			TOTAL NET PRICE		$118,844.10						
			F.O.B.	DELIVERED		DELIVERED		DELIVERED		DELIVERED	
			DELIVERY								

NEXT LOW:

LOW:

SAVINGS: **$0.00**

n/a # IonWave Notifications
n/a # IonWave HUBS
n/a # Direct Contact HUBS
n/a # HUBS Responded

All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.

GARLAND

PURCHASING EXECUTIVE SUMMARY

Bid 6765-16
Duck Creek Laboratory Building Demolition

Recommended Vendor:
Intercon Environmental, Inc.

Total Recommended Award:
$118,844.10

Basis for Award:
Cooperative Purchase

Purpose:
The purpose of this contract is to provide the asbestos and lead abatement and subsequent demolition of the existing laboratory building located at Duck Creek Wastewater Treatment Plant. This is an approved Capital Improvement Project and expenditures will not exceed appropriated funds.

Evaluation:
This service is being provided by Intercon Environmental, Inc. through the Texas Multiple Award Schedule (TXMAS) Contract 13-899020.

Recommendation:
Staff recommends awarding the contract to Intercon Environmental, Inc.

Funding Information:
237-4239-3403900-9002

Department Director:
Ginny Holliday, Director of Facilities Management, 972-205-4080

GARLAND
PURCHASING REPORT

City Council Regular Session Agenda **Agenda Item 2. e.**

Meeting Date: August 2, 2016

Item Title: Process Improvement Services Contract

Submitted By: Becky King, Managing Director

PURCHASE JUSTIFICATION:

In accordance with the City Manager's strategic initiative to prepare the organization for the future, several processes have been identified for implementing Lean process improvements. The City Manager has identified the Development Process as a priority candidate for immediate process improvement. A personal services contract with Celerity Consulting, LLC, is needed to provide process improvement facilitation services for Development and other priority processes. This will be a Term Contract with four (4) optional renewals.

AWARD RECOMMENDATION:

Vendor	***Item***	***Amount***
Celerity Consulting, LLC	1	$100,000.00
	TOTAL:	**$100,000.00**

Fiscal Impact

Total Project/Account:	$35,887,073
Expended/Encumbered to Date:	27,772,079
Balance:	$8,114,994
This Item:	100,000
Proposed Balance:	$8,014,994
Account #:	221-4011-7101 & 231-4122-7101

Fund/Agency/Project – Description and Comments:

Water Utility Fund / Administration
Wastewater Utility Fund / Sewer Maintenance
Bid 6816-16

Attachments

Bid Recap
Executive Summary

Fiscal Reference:

Budget Type:	Operating Budget
Fiscal Year:	2015-16
Document Location:	Pages 280 and 275

Budget Director Approval:	**Approval Date:**
Ron Young	07/29/2016
Purchasing Director Approval:	**Approval Date:**
Gary L. Holcomb	07/29/2016

CITY OF GARLAND - BID RECAP SHEET OPENED: 07/01/16 REQ. NO. BID NO. 6816-16 PAGE: 1 of 1 BUYER: Teresa Dabney				Celerity Consulting, LLC							
ITEM	QTY	UNIT	DESCRIPTION	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1.00	1.00	LT	Precess Improvement Services		$100,000.00						
			TOTAL GROSS PRICE		$100,000.00						
			CASH DISCOUNT								
			TOTAL NET PRICE		$100,000.00						
			F.O.B.	DELIVERED		DELIVERED		DELIVERED		DELIVERED	
			DELIVERY								

All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.

GARLAND

PURCHASING EXECUTIVE SUMMARY

Bid 6816-16
Process Improvement Services Contract

Recommended Vendor:
Celerity Consulting, LLC

Total Recommended Award:
$100,000.00

Basis for Award:
Most Qualified

Purpose:
In accordance with the City Manager's strategic initiative to prepare the organization for the future, several processes have been identified for implementing Lean process improvements. The City Manager has identified the Development Process as a priority candidate for immediate process improvement. A personal services contract with Celerity Consulting, LLC is needed to provide process improvement facilitation services for Development and other priority processes. This will be a term contract with four (4) optional renewals.

Evaluation:
This will be a personal services contract for the skill set and experience of a particular individual with Lean process improvement knowledge in general, as well as specific experience with Garland's existing development processes and Lean process improvement methodology.

Recommendation:
Staff recommends awarding a renewable contract to Celerity Consulting, LLC.

Funding Information:

Department Director:
Becky King, Managing Director, 972-205-2893

GARLAND
CITY COUNCIL ITEM SUMMARY SHEET

City Council Regular Session Agenda **Agenda Item 3.**

Meeting Date: August 2, 2016

Item Title: First Amendment to Reimbursement Agreement

Submitted By: Jeff Janke, Administration

Summary of Request/Problem

At the July 18, 2016 Work Session, Council was requested to consider an amendment to the Wells Fargo Reimbursement Agreement which would reconcile the filing requirements of the City of Garland Electric Utility Commercial Paper Notes, Series 2014 and City of Garland Electric Utility Notes, Series 2016.

Recommendation/Action Requested and Justification

Council is requested to approve an ordinance authorizing the City Manager to approve the amendment to the Reimbursement Agreement between the City and Wells Fargo National Bank.

Attachments

Amendment to Reimbursement Agreement Ordinance

ORDINANCE NO.

AN ORDINANCE APRROVING A FIRST AMENDMENT TO THAT CERTAIN REIMBURSEMENT AGREEMENT BETWEEN WELLS FARGO BANK, NATIONAL ASSOCIATION, AND THE CITY OF GARLAND, TEXAS; RESOLVING OTHER MATTERS INCIDENT AND RELATED THERETO; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Garland, Texas (the "City"), previously authorized the "City of Garland, Texas, Electric Utility System Commercial Paper Notes, Series 2014," in the aggregate principal amount of not to exceed $60,000,000 (collectively, the "Notes") and in connection therewith executed a Reimbursement Agreement dated as of June 1, 2014 (the "Reimbursement Agreement"), by and between the City and Wells Fargo Bank, NA (the "Bank");

WHEREAS, the Bank and the City have agreed to amend the Reimbursement Agreement by entering into that certain First Amendment to Reimbursement Agreement, a substantial copy of which is attached hereto as Exhibit A (the "First Amendment) by and between the City and the Bank to conform certain filing requirements to the requirements specified in the documents related to the City's recently authorized Electric Utility System Notes, Series 2016;

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS:

Section 1

The City hereby approves the First Amendment in substantially the form attached hereto as Exhibit A, with such changes or additions thereto as may be approved by the City Manager, Director of Financial Services of the City or the Chief Financial Officer of Garland Power and Light (upon advice of bond counsel to the City), as evidenced by their execution and delivery thereof, and the City Manager or the Director of Financial Services of the City and the Chief Financial Officer of Garland Power and Light are each hereby authorized and directed, for and on behalf of the City, to execute the First Amendment, and such officers are hereby authorized to deliver the First Amendment to the Bank. Upon execution by the parties thereto and delivery thereof, the First Amendment shall be binding upon the City in accordance with the terms and provisions thereof.

Section 2

It is officially found, determined, and declared that the meeting at which this Ordinance is adopted was open to the public and public notice of the time, place and subject matter of the public business to be considered at such meeting, including this Ordinance, was given, all as required by Texas Government Code, Chapter 551, as amended.

Section 3

That this Ordinance shall be and become effective immediately upon and after its adoption and approval.

PASSED AND APPROVED this the ___ day of _____, 2016.

CITY OF GARLAND, TEXAS

_____
Mayor

ATTEST:

_____
City Secretary

GARLAND

CITY COUNCIL ITEM SUMMARY SHEET

City Council Regular Session Agenda **Agenda Item 4.**

Meeting Date: August 2, 2016

Item Title: Consider the appointment of a Deputy Mayor Pro Tem

Submitted By: Bryan Bradford, City Manager

Summary of Request/Problem

In accordance with City Council Policy Article II, Section 8, "Who shall act as Mayor," the City Council may, at its discretion, choose to elect a deputy mayor pro temp to act as mayor when the Mayor and the Mayor Pro Tem are absent or disabled.

Recommendation/Action Requested and Justification

Appoint a Deputy Mayor Pro Tem from among its members.

GARLAND
CITY COUNCIL ITEM SUMMARY SHEET

City Council Regular Session Agenda **Agenda Item 5.**

Meeting Date: August 2, 2016

Item Title: Proposal to Vote on Tax Rate for 2016-17

Submitted By: Ron Young, Budget Director

Summary of Request/Problem

In accordance with Chapter 26 of the State Property Tax Code, the Council must vote to place on the agenda of a future meeting an action item calling for the adoption of the ad valorem tax rate. This vote must be recorded and must specify the desired rate. This action is required as part of "Truth in Taxation" legislation surrounding setting ad valorem tax rates and does not commit Council to adopting the proposed ad valorem tax rate. Two public hearings will be held prior to the adoption of the proposed tax rate.

Please refer to the specific actions outlined below as required by "Truth in Taxation" legislation.

Recommendation/Action Requested and Justification

Requested Actions:

1. **Council Member** – Call for a motion to place a proposal to adopt a tax rate of 70.46 cents per $100 of valuation on the September 6, 2016, Regular Meeting agenda. **(Required motion wording is included in Attachment A.)**
2. Vote on above motion.

Mayor – Call for public hearings. **(Required wording is included in Attachment A.)**

Attachments

Attachment A Motion Wording

Proposal to Vote on Proposed Tax Rate for 2016-17

Attachment A

(1) Required Motion Wording

"Mayor, I move that an item be placed on the Council agenda for September 6, 2016, calling for the adoption of a tax rate equaling 70.46 cents per $100 of valuation for the fiscal year beginning October 1, 2016."

(2) Motion Seconded

(3) Council Votes

(4) Required Wording for Call for Public Hearings

Mayor:

"I call for two Public Hearings to be held on the proposed ad valorem tax rate of 70.46 cents per $100 of valuation – which is scheduled for adoption on September 6, 2016, at 7:00 P.M. in the Duckworth Building, Goldie Locke Room, 217 North Fifth Street, Garland, Texas. The Public Hearings will be held on:

(1) Tuesday, August 16, 2016, at 7:00 P.M. at the Duckworth Building, Goldie Locke Room, 217 North Fifth Street, Garland, Texas.

(2) Thursday, August 25, 2016, also at 7:00 P.M. at the Duckworth Building, Goldie Locke Room, 217 North Fifth Street, Garland, Texas.

GARLAND

CITY COUNCIL ITEM SUMMARY SHEET

City Council Regular Session Agenda **Agenda Item 6.**

Meeting Date: August 2, 2016

Item Title: Presentation of the 2016-17 Proposed Budget

Submitted By: Ron Young, Budget Director

Summary of Request/Problem

In accordance with the City Charter, the City Manager shall submit to the City Council, prior to August 15, a Proposed Budget for the coming fiscal year. The City Manager will formally present his Proposed Budget for 2016-17. Following the presentation to Council, copies of the Proposed Budget will be placed in each City library, in the Office of the City Secretary, and on the City's website for public review and inspection.

Recommendation/Action Requested and Justification

City Manager's presentation of the 2016-17 Proposed Budget.

GARLAND
PLANNING REPORT

City Council Regular Session Agenda **Agenda Item 7. a.**

Meeting Date: August 2, 2016
Item Title: Z 16-08 Charles Hicks
Submitted By: Will Guerin, Planning Director

REQUEST

Approval of 1) a zoning change from Agriculture (AG) District to Planned Development (PD) District for Single-Family-5 (SF-5) Uses, and 2) a Concept Plan for Dwelling, Single-Family Detached.

OWNER

Charles & Michelle Shannon

PLAN COMMISSION RECOMMENDATION

On June 27, 2016, the Plan Commission by a vote of eight (8) to zero (0) recommended denial of 1) a zoning change from Agriculture (AG) District to Planned Development (PD) District for Single-Family-5 (SF-5) Uses, and 2) a Concept Plan for Dwelling, Single-Family Detached.

STAFF RECOMMENDATION

Staff recommendation is to approve the zoning change from Agriculture (AG) District to Planned Development (PD) District for Single-Family-5 (SF-5) Uses and a Concept Plan for Dwelling, Single-Family Detached.

BACKGROUND

The subject property is currently undeveloped and zoned Agriculture (AG) District. The applicant seeks approval of a zoning change and a Concept Plan.

This case was postponed at the April 11, 2016 Plan Commission meeting. The applicant and neighbors met, with staff in attendance, on April 26, 2016. The results of that meeting are summarized in the table below. At the May 9, 2016 Plan Commission hearing, the case was postponed to the May 23, 2016 Plan Commission hearing. The item was heard on May 23, 2016 and postponed to June 27, 2016. After publication of the staff report for the July 19, 2016 City Council hearing, the applicant further revised the proposal. This report has been updated to include the following revisions proposed by the applicant, including a revised concept plan (attached):

Standard	Previously April 11th	Previously May 23	Plan Commission June 27	City Council July 19
Lot Area	5,500 square feet	6,000 square feet	6,000 square feet	6,000 square feet
Number of Lots	29	27	25	23
Density	2.9 units per acre	2.7 units per acre	2.5 units per acre	2.3 units per acre
Lot Width	50 feet	55 feet	55 feet	60

Also prior to the City Council hearing on July 19, the applicant proposed the following conditions:

- All garages must be J-entry, and
- Residential lots are prohibited on the northeastern-most portion of the property.

During the June 27 Plan Commission hearing the applicant proposed revisions to the PD Conditions, clarifying that tree removal would be limited to diseased or dying trees for trees located in the area of the creek close to the Hills of Breckinridge subdivision; the 30-feet distance is measured from the south bank of the creek as related to the tree preservation along the creek; and iron fences will be provided on the perimeter of the lots adjacent to the open space/flood plain area delineated on the Concept Plan.

SITE DATA

The site has an area of 9.7 acres. It has approximately 1,181 feet of frontage along Campbell Road and 925 feet of frontage along Brand Road. The site has 867 feet of contiguous property line with The Hills of Breckinridge Replat to the north.

USE OF PROPERTY UNDER CURRENT ZONING

The Agriculture (AG) District is intended for vacant land which is not yet ready for development; land which is used for agricultural or open space purposes; and land which due to its topography or location within a floodplain or other undevelopable area is not anticipated to be developed for more intense uses. The proposed Single-Family-5 Uses are not permitted by right in the Agriculture (AG) District; therefore, a zoning change is required for the proposed uses. The applicant has proposed rezoning to a Planned Development (PD) District for Single-Family 5 (SF-5) Uses.

CONSIDERATIONS

1. The applicant proposes a zoning change and a Concept Plan. The Concept Plan consists of one property and this proposal would allow a minimum 2,500 square-foot single-family detached dwellings on minimum 6,000 square-foot lots.

2. Consideration should be given to the compatibility of the single-family use proposed with the surrounding developed land. The subdivided properties located to the southeast are developed with single-family residences. These subdivisions are developed with average lot sizes ranging from 10,000 to 12,500 square feet. Abutting the subject site to the north is another platted subdivision, The Hills of Breckinridge Replat, and all of the subject site's north property line abuts common open space or private street frontage in that subdivision. The lots in The Hills of Breckinridge Replat average approximately 20,000 square feet in size. To the west is undeveloped property and one single-family residence. To the southwest is the Oaks at Firewheel subdivision which consists of, on average, 6,000 square foot lots.

3. The site is separated from existing development by major thoroughfares and a floodplain. The development to the south is separated from the subject property by Campbell Road, a planned 100-foot wide right-of-way median-divided street with landscaping along both sides. The property to the west is separated from the subject property by Brand Road, a planned 100-foot wide right-of-way median-divided street, with landscaping along both sides. The floodplain separates the buildable area of the subject site from the property to the north. The floodplain width is variable, and at its narrowest point along the shared property line it is approximately 60 feet in width.

4. Consideration should also be given to any site constraints that limit development on the subject site. The Concept Plan shows the site with a 100-year floodplain comprising approximately half of the site. The floodplain constrains the site development potential, thus reducing the developable area. As a result, the Planned Development (PD) District is applicable due to the need for flexible zoning. The site constraints present the potential for the clustering of lots to afford protection of the environmental conditions of the floodplain area. The clustering of lots would result in lot sizes smaller than that of the surrounding area as this project proposes Single-Family 5 (SF-5) District as a base zoning. However, the development would have a similar density as found in the development to the south. The applicant desires to yield 23 lots, resulting in 2.3 units per acre. The properties to the south are developed at approximately 2.8 units per acre. The property to the north, which is separated from the proposed development by the floodplain, is built with approximately 1.2 units per acre. The proposed PD conditions include that the development shall have a maximum of 23 lots.

5. This proposal would result in lots clustered onto the southern portion of the site with preservation of floodplain area on the north side of the property. The Single-Family-5 (SF-5) District standards proposed in this Planned Development (PD) District maintain the standard lot width of 60 feet.

6. The Detail Plan elements will be reviewed in a future application and include refined plan for street improvements, compatibility of screening walls along East Campbell Road, trail location, results of flood boundary study, tree preservation, and design features. The developer has indicated that alleys will not be included in this project. Alley widths may constrain the property as the developable width of the site is narrow. Staff recognizes the site limitations. However, it is better addressed with the Detail Plan analysis.

COMPREHENSIVE PLAN

The Envision Garland Plan designates the site as Traditional Neighborhoods and Parks and Open Space (Public & Private).

Parks and Open Spaces consist of a variety of public/private parks, plazas, and natural areas for passive and active recreation, as well as informal gathering places, including development that contributes to their desirability.

Traditional Neighborhoods offer residential areas of typical suburban density within a conventional neighborhood setting. Development in Traditional Neighborhoods includes single-family detached homes arranged on conventional collector and neighborhood streets. Typical density of Traditional Neighborhoods ranges from one to six units per acre.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

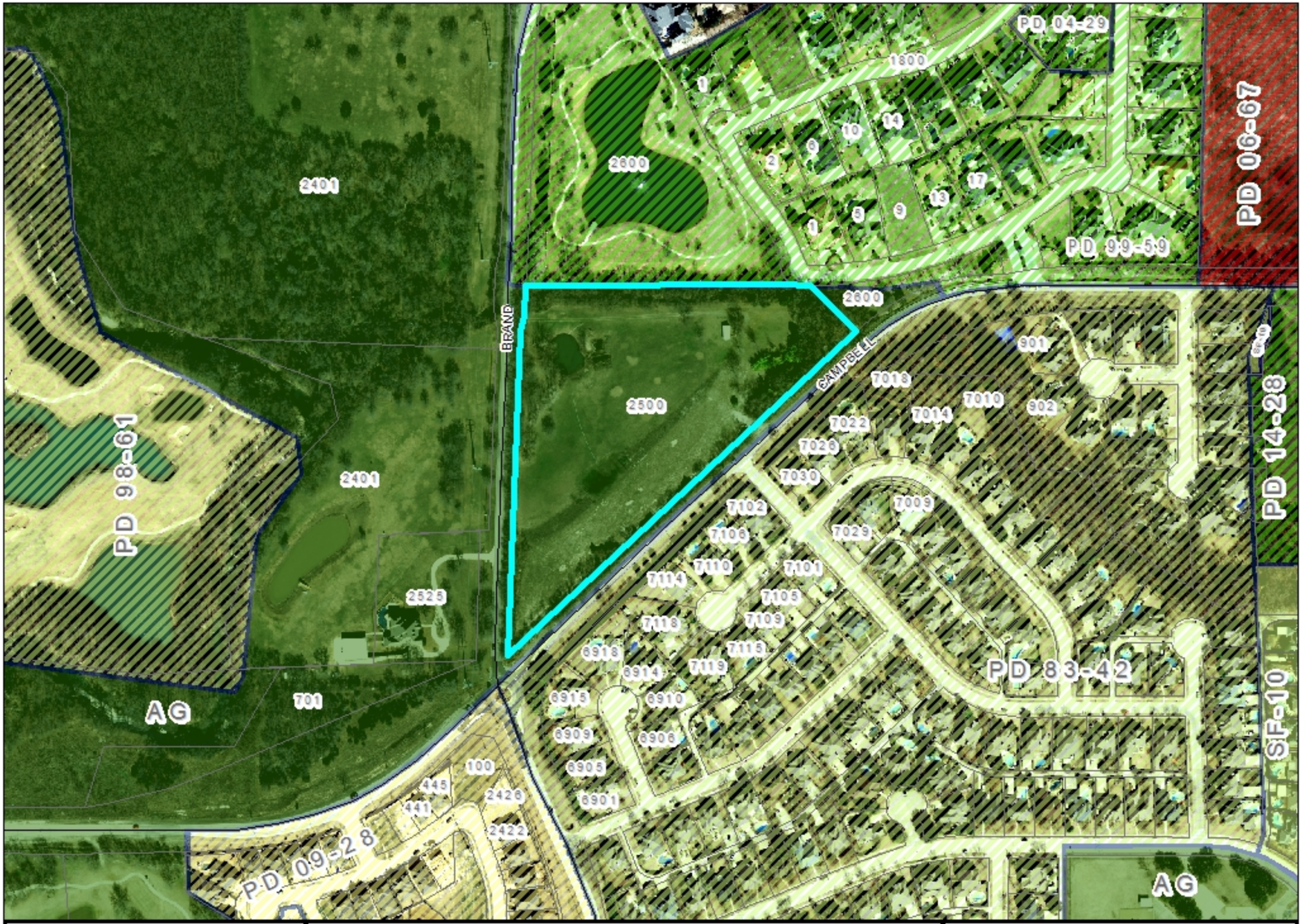
The properties to the north and southeast are zoned Planned Development (PD) Single-Family Uses and developed with single-family dwelling units. The property to the west is zoned Agriculture (AG) District and is mostly undeveloped with one large lot single-family residence.

The proposed uses are compatible with the surrounding development. More refined details of the proposed lots and perimeter treatment will be included with the Detail Plan to ensure the subject property is developed in a manner that is sensitive to the surrounding natural areas and land uses.

Attachments

Z 16-08 Charles Hicks Attachments

Z 16-08 Charles Hicks Replies


PD 04-29
1800
PD 06-67
2600
2401
PD 99-59
BRAND
2500
CAMPBELL
PD 14-28
PD 98-61
2525
PD 83-42
SF-10
AG
701
PD 09-28
2426
2422
AG
0 150 300 Feet
1 inch = 300 feet
ZONING Z 16-08
INDICATES AREA OF REQUEST

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 16-08

Northeast Corner of Brand Road and Campbell Road

I. Statement of Purpose: The purpose of this Planned Development is to permit the development of Single-Family Uses.

II. Statement of Effect: This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.

III. General Regulations: All regulations of the Single-Family 5 (SF-5) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Concept Plan: Development shall be in general conformance with the Concept Plan labeled Exhibit C. In the event there is conflict between the approved Concept Plan and the Specific Regulations below, the Specific Regulations shall apply.

V. Detail Plan: Approval of a Detail Plan is required prior to any development on the property reflected in the Concept Plan.

V. Specific Regulations:

A. Permitted Uses: Only Single-Family detached dwelling units shall be permitted.

B. Number of Lots: The maximum number of lots is 23.

C. Dwelling Unit Size: Minimum dwelling unit size is 2,500 square feet.

D. Lot Area: The minimum lot area is 6,000 square feet.

E. Lot Width: The minimum lot width is 60 feet.

F. Setback: Except as provided in this section, setbacks shall comply with SF-5 standards of the Garland Development Code. The minimum rear yard setback for lots that back towards Campbell Road shall be 15 feet.

G. Tree Preservation and Mitigation:

a. Preservation. The development shall preserve existing trees in the area extending from the site’s north and northeast

property line, contiguous to the Hills of Breckinridge subdivision, to a point measured 30 feet south and southwest from the top creek bank as the creek exists prior to any improvements made as a result of the development. However, diseased or dying trees, as determined by the city, may be removed from that preservation zone between the top of the creek bank and a line 30 feet south and southwest of the creek bank. Those trees shall be replaced with trees that will provide growth characteristics that will maintain the visual screen between the property and the Hills of Breckinridge subdivision.

b. Protection. Preserved trees shall be protected during construction in accordance with the Garland Development Code Tree Preservation and Mitigation requirements, which may require a protection zone greater than 30 feet specified in G. Tree Preservation and Mitigation (a) Preservation.

c. Tree Species and Characteristic. In addition to tree species required in G. Tree Preservation and Mitigation (a) Preservation, any new trees shall consist of species that can tolerate typical soil conditions characteristic of the planting area.

H. Retaining Walls: Retaining walls shall be structurally engineered to City of Garland standards and specifications. Gabion walls shall be prohibited.

I. Perimeter Walls: Perimeter walls constructed within the landscape easement along Campbell Road and within that portion of the landscape easement adjacent to dwelling unit lots along Brand Road shall be compatible with the walls at the Oaks at Firewheel and The Greens No. 5 Subdivisions. The walls shall conform to the construction standards of the City of Garland.

J. Fencing: Iron fences shall be provided on the perimeter of the lots adjacent to the open space/floodplain area delineated on Exhibit C.

K. Ingress and Egress: The ingress and egress point on Campbell Road into the property shall align with Aberdeen Drive.

L. Entry Area Improvements: Entry area improvements shall be compatible with entry area improvements at The Greens No 5 and the Oaks at Firewheel subdivisions. Development shall not be gated.

M. Façade Design: Dwelling unit facades shall consist of a minimum of 80 percent masonry, as defined in the Garland Development Code.

EXHIBIT B

N. Garage Entry: All garage entries shall be designed as "J" Drive, as illustrated in the Garland Development Code.

O. Restricted lot location: Residential lots are prohibited on the northeastern most portion of the property, as labeled "Tree Preserve" on Exhibit C.

EXHIBIT B

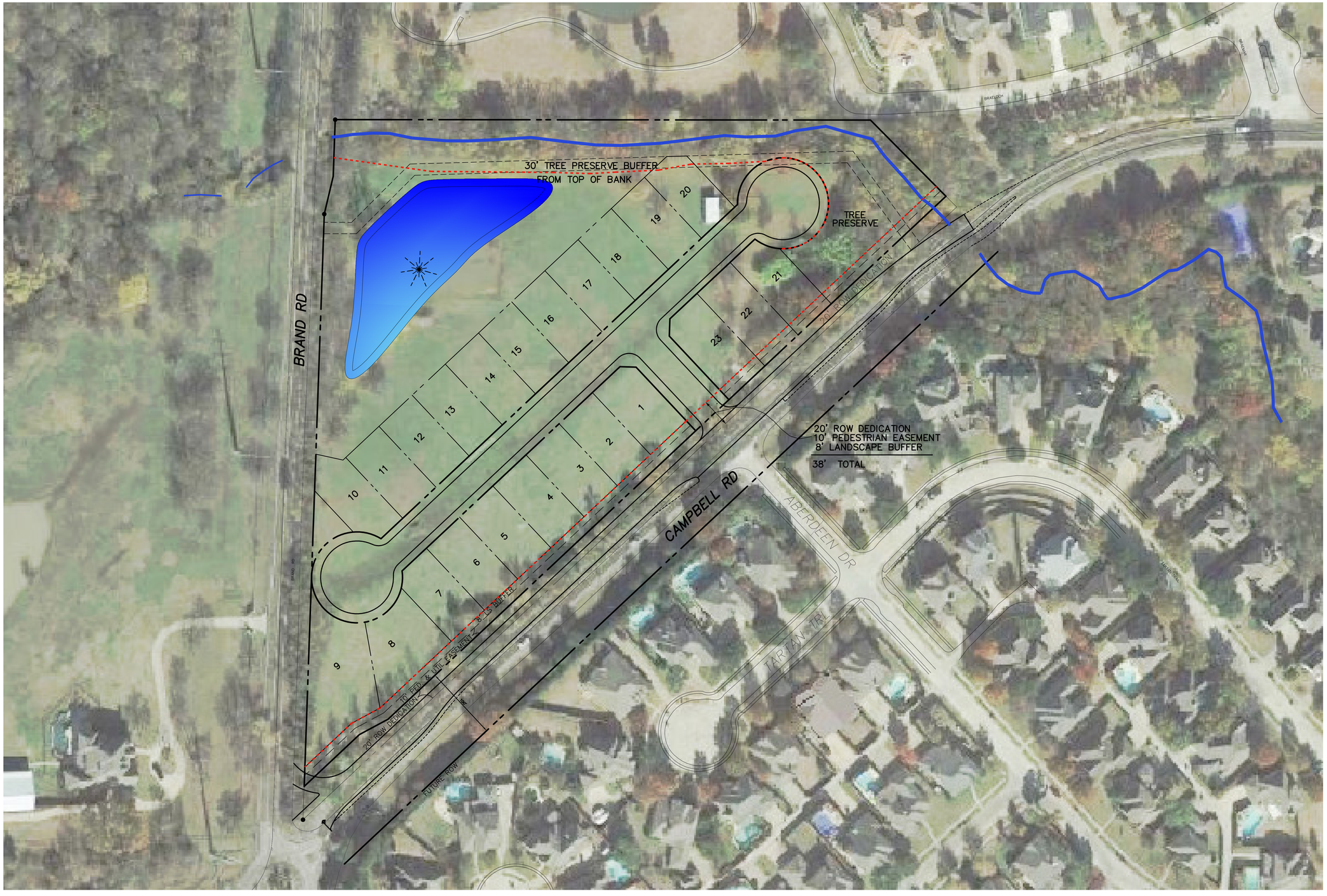


EXHIBIT C

SINGLE FAMILY DETACHED LOTS : 23
OPEN SPACE / COMMON AREA - 3.63 AC

SINGLE FAMILY DETACHED LOTS : 23
TYPICAL SF LOT SIZE: 60'x110'
PAD SIZE 50'x75'

Marshall Gage LLC
207 E. Virginia, Suite 216
McKinney, Texas
(214) 986-9018
civil engineering · planning

CONCEPT PLAN M

9.2 ± acres - Garland, Texas

1"=60'

6-21-16

REPORT & MINUTES

P.C. Meeting, June 27, 2016 (8 Members Present)

Consideration of the application for Charles Hicks, requesting approval of 1) a zoning change from Agriculture (AG) District to Planned Development (PD) for Single-Family-5 (SF-5) Uses and 2) a Concept Plan for Dwelling, Single-Family Detached. This property is located at the northeast corner of Brand Road and Campbell Road. (District 1) (File Z 16-08) (This item was postponed from the May 23, 2016 Plan Commission meeting).

Representing that applicant, Audra Buckley, 416 S. Ervay, St. Dallas, TX 75201, provided additional information regarding their request as a result of their continued work with the surrounding homeowner associations in regards to added language regarding iron fencing, perimeter wall standards and entry area, tree preservation, and ingress/egress realignment.

Residents who spoke in opposition were:

Sydan Gordon – 6 Dunrobin, Garland, TX, 75044
John Plata – 7022 Tartan Trail, Garland, TX
Aileen Nguyen – 1 Dunrobin, Garland, TX, 75044
Keith Black – 6 Kilchurn, Garland, TX, 75044

Residents present and registering their position as opposed were:

Khalid and Naghma Iqbal – 14 Dunrobing, TX 75044
Sherry Hansford – 2, Lochleven, Richardson, TX
Julianna Black – 6 Kulchurn, Garland, TX 75044
Bob Blesi – 2 Brae Loch, Garland, TX 75044
Don Gordon – 6 Dunrobin, Garland, TX 75044
Ken M Kirkland – 7010 Tartan Trail, Garland, TX

Residents expressed concern regarding compatibility with the surrounding neighborhoods, the proposed lot size, tree preservation, existing flood plain, home values, and compatibility with Envision Garland.

The applicant Charles Hicks, 11825 Forest Lakes Lane, Dallas, TX reiterated their attempts to work with the surrounding homeowner associations.

Motion was made by Commissioner Luckie, seconded by Commissioner Ott to close the Public Hearing and open the case for discussion. **Motion carried: 8** Ayes, **0** Nays.

Commissioner Luckie and Ott expressed their opposition with this request. Chairman Roberts thanked both sides on their efforts to work together.

Motion was made by Commissioner Luckie, seconded by Commissioner Ott to **deny** the request. **Motion carried: 8** Ayes, **0** Nays.

0 150 300 Feet
1 inch = 300 feet

ZONING Z 16-08

INDICATES AREA OF REQUEST

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 1, 2016

HEARING DATE/TIME: Plan Commission: April 11, 2016 – 7:00 PM

APPLICANT: Charles Hicks
File 16-08

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, April 11, 2016, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Charles Hicks**, requesting approval of 1) a zoning change from Agriculture (AG) District to Planned Development (PD) District for Single-Family-5 Uses and 2) a Concept Plan for Dwelling, Single-Family Detached. The property is shown on the enclosed sketch and is described as follows:

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Note: The applicant seeks approval of a zoning change and a Concept Plan, to develop the site with a single family subdivision.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474.** Should you have any questions, please contact Kira Wauwie at 972-205-2456.

(Please Check One Below)

✓ I am in favor of the request.

_____ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

I owned 2525 River & would love to purchase a new home on this land or mine to be developed

(Please complete the following information)

Your Property Address 2401 + 2601 Brand Rd.

Printed Name Mary Sue M. Huffaker Garland, TX

Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature Mary owner
Title

Date: 4/15/2016

I will buy here 972-989-2737

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

GARLAND

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(Please Check One Below)

✓ I am in favor of the request.

_____ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address

Jerry Feagin

Printed Name

7101 TARTAN TRL GARLAND TX 75044

Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature Title

Date: 4-12-16

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 1, 2016

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(Please Check One Below)

X I am in favor of the request.

____ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.
ASSUMING SAME OR BETTER QUALITY AS ADJACENT DEVELOPMENT.

(Please complete the following information)

Your Property Address
6906 SHAMROCK CT

Printed Name
JEFF CROWE GARLAND TX. 75044
Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature Title
Date: 4/6/16

APR 11 2016 PM 2:28

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

GARLAND

April 1, 2016

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APPLICANT: Charles Hicks
File 16-08

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(Please Check One Below)

____ I am in favor of the request.

✓ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

Over the past 5 to 7 years the area of Campbell and Brand has become increasingly congested with traffic. ~~often~~ At times it can take more than 5 minutes to get out of our subdivision in the ~~morning~~. The number of homes and density of the proposed zoning change will only add to the congestion.

(Please complete the following information)

Your Property Address 13 Brae Loch

Printed Name VINCE FUDZIE

Address Garland, TX 75044
City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature

Title property/home owner

Date: 4/7/16

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

GARLAND

April 1, 2016

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(Please Check One Below)

____ I am in favor of the request.

X I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.
Please see the points raised in our attached letter regarding the Floodplain lines, retaining walls, safety and values of our home. Thank you!

(Please complete the following information)

Your Property Address
AILEEN & TAM NGUYEN
Printed Name
1 DUNROBIN GARLAND, TEXAS 75044
Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).
Signature SR. DIRECTOR, TAX
Title
Date: 4/7/2016

Tam C. and Aileen P. Nguyen
1 Dunrobin
Garland, TX 75044

April 7, 2016

Via Fax 972 205 2474
Mr. Will Guerin
Director of Planning
City of Garland
800 Main Street
Garland, Texas 75040

Re: E. Brand Road at Campbell. Charles Hicks, File 16-08. Pre-submittal meeting case #151229-2

Dear Mr. Guerin,

I have received the notice for hearing from the city of Garland regarding the application of Mr. Charles Hicks regarding (1) the zoning change from Agriculture District (AG) to Planned Development (PD) for Single Family Use, and (2) a Concept Plan for Dwelling for the lot as indicated in the back of the notice.

We opposed to the request for the following reasons:

1. Based on our knowledge, a flood study has not been performed for the above referenced property. Based on our research, a large part of that property is within the Existing Flood zone, where the Existing Flood Plain line runs through the center of the proposed houses on the north side of the street. **We request that a formal Flood study must be done before the city of Garland grants the approval to this application**.
2. Based on the map that the developer sent to several residents, but not us, the Proposed Flood Plain line would require the construction of a very high retaining wall for these houses. The height of the retaining walls and the stability of the lots and the house foundation is a great concern for us, for safety reasons and the impacts that it could have on the Flood line and thus the safety of the houses of the Hills of Breckenridge. Our house is next to the pond and the creek; therefore, this is a great concern for us. The developer proposed to use concrete, rip rap, or rip rap-like materials. **We hereby request that the retaining walls have to be mortared stone and not concrete and rip rap materials**.

3. We were told that the minimum square footage of the dwelling would be only 2,000sqt ft with lot size around 5,500 square feet. We are concerned that the smaller homes and lot will not only bring down the value of the home in our neighborhood, but also may create a negative impact to the budget of the city. Please see the attached analysis. Thus, **we request that the minimum square footage of the lots should be 7500 , and the minimum dwelling size should be 3,000 square feet.** At this size, the City may be able to break-even or have surplus.

The smaller home and the rip rap retaining walls will definitely bring down the value of our homes. We are a long term residents and diligent taxpayers of the City of Garland. Like the city, we would like to see more development projects that will increase the tax base thus generate more revenue for the city which can be used to improve the quality of life for the residents of Garland. However, we would strongly oppose to those projects that create negative impacts on our home safety and values and the budget of the City.

We believe that the Board of the Hills of Breckinridge Homeowners Association has submitted the opposition on behalves of its residents and the requests for the development/building criteria that will uphold the safety and environmental standards for us as well as the values of our homes.

We are looking forward to discussing this application further at the hearing to be held by the Plan Commission of the City of Garland at 7:00 P.M. on Monday April 11, 2016.

Thank you for your consideration.

Yours truly,

Aileen P. Nguyen

ANALYSIS OF PROPERTY TAX REVENUE/EXPENSE FOR THE 29 HOMES FROM THE CONCEPT PLAN

IF MINIMUM HOME SIZE IS 2,000 SQFT AND LOTS SIZE IS 5,500SQFT

	Proposed Number of Homes	Avg. sq.ft. per home	Avg. price per sqft.	Est. Avg Home Price w/o Land	Land Value	Avg price home price	Tax rate (A)	Prop. Tax on Each Home (B)	Total Prop. Tax
Estimated City Property Tax	29	2700	105	$ 283,500	$ 55,000	$ 338,500	0.7046%	$ 2,385.07	$ 69,167
Estimated GISD Property Tax	29	2700	105	$ 283,500	$ 55,000	$ 338,500	1.3533%	$ 4,580.92	$ 132,847
Total								**$ 6,965.99**	$ 202,013.75

Note (A): Based on 2015 tax rate published by DCAD.
Note (B): assumed no homestead exemption

Per a research posted by Ballotpedia November 17, 2014, GISD's expenditures per student was $8,280. This figure didnot include the estimated cost of busing the student as $930 per child per year. Thus each home has one student, the city of Garland will have a negative budget of ($65,105) per year ($8,280+930-6,965 = $2,245 X 29)

IF MINIMUM HOME SIZE IS 3,000 SQFT AND LOTS SIZE IS 7,500SQFT

	Proposed Number of Homes	Avg. sq.ft. per home	Avg. price per sqft.	Est. Avg Home Price w/o Land	Land Value	Avg price home price	Tax rate (A)	Prop. Tax on Each Home (B)	Total Prop. Tax
Estimated City Property Tax	20	3500	110	$ 385,000	$ 75,000	$ 460,000	0.7046%	$ 3,241.16	$ 64,823
Estimated GISD Property Tax	20	3500	110	$ 385,000	$ 75,000	$ 460,000	1.3533%	$ 6,225.18	$ 124,504
Total								**$ 9,466.34**	$ 189,326.80

At this minimum home and lot size, the propert taxes generated from each home will break-even or surpass the cost per student for GISD.
Please note that this analysis does not consider other costs that the City may have to spend on the new community.

Apr. 8. 2016 2:23PM No. 4609 P. 6

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 1, 2016

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(Please Check One Below)

____ I am in favor of the request.

✓ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.
The creek area on this property already floods badly; we object to changing the flood plain line. We object to the lot sizes, which should be minimum 7500 sf. House size should be 3000 sf min. and masonry retaining walls.

(Please complete the following information)

Your Property Address
6 Dunrobin,

Printed Name
Don + Sydna Gordon

Address

Garland, TX 75044
City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Sydna K Gordon
Signature

Property owner + resident
Title

Date: 4/7/16

The Hills of Breckinridge Homeowners Association, Inc.

Professionally Managed by SBB Management Company
An Accredited Association Management Company
8360 LBJ Freeway, Suite 300
Dallas, Texas 75243
(972) 960-2800 Fax (972) 991-6642

May 20, 2016

Garland Plan Commission
800 Main Street
Garland, Texas 75040

Via email to KWauwie@garlandtx.gov

Re: File No. Z 16-08/District 1

Dear Plan Commission Members:

The Hills of Breckinridge continues its opposition to the above referenced rezoning application.

1. We oppose the rezoning until a Final Flood Study is obtained. Based on the discussion of the plans at the meeting between homeowners and the developer on April 26th, without a flood study the viability of the proposed development and its impact on the floodplain and the surrounding neighborhoods is impossible to determine.

2. We oppose front entry garages.

3. We would support 60 foot wide lots.

4. We support preservation of the existing trees within a minimum of 30 feet from the bank of the creek, not from the center of the creek as specified in PD Specific Regulation G c. We oppose permitting the removal or damaging of these trees in exchange for mitigation by replacing them with new plantings.

5. The attached Concept Plan A, presented by the developer to a homeowners meeting on April 26, 2016, cannot be executed without destruction of the existing trees at the east end of the property. Construction of the houses on lots labeled 24-28 will destroy the existing trees and the screening these trees provide. It would be impossible to protect the trees if the floodplain were raised as projected and houses on lots 24-28 were built.

6. We oppose approval of 27 lots.

7. We oppose rezoning of this property as SF-5. We would support SF-7 zoning.

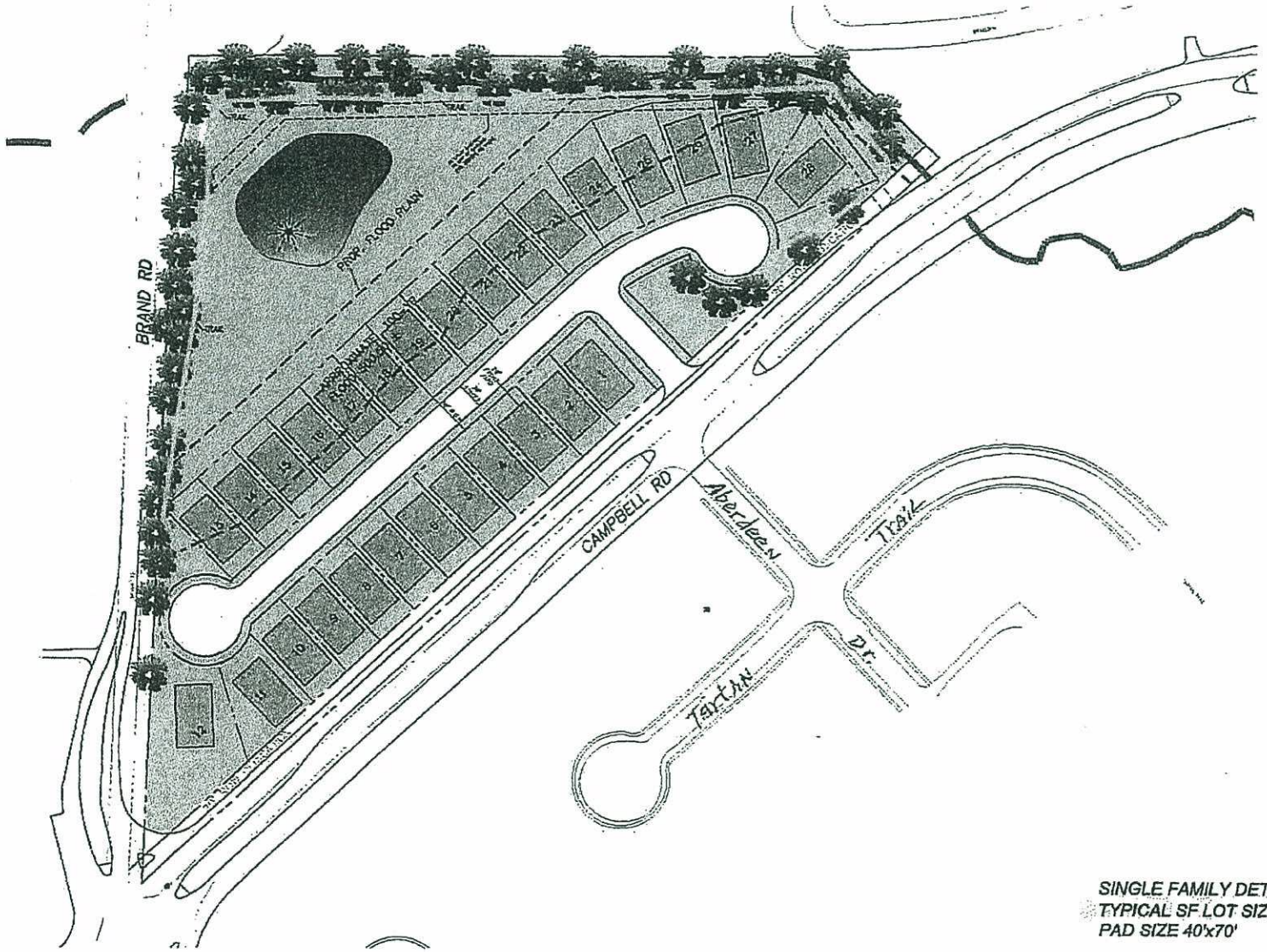
8. The PD Specific Regulation does not require iron fencing. Providing for iron fencing "where feasible" is not acceptable. Therefore, we oppose the fencing regulations as proposed.

Yours truly,

Sydna Gordon

Sydna Gordon, HOA Board Member
Hills of Breckinridge Maintenance Association, Inc.

cc: Charles Hicks
Mayor Douglas Athas
Councilmember David Gibbons



SINGLE FAMILY DETACHED LOTS : 28
TYPICAL SF LOT SIZE: 50'x110'
PAD SIZE 40'x70'

Marshall Gage LLC

CONCEPT PLAN A

9.2 ± acres - Garland, Texas

1"=50'

12-28-15

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 1, 2016

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APPLICANT: Charles Hicks
File 16-08

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(Please Check One Below)

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__✓__ I am opposed to the request.

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(Please complete the following information)

Your Property Address
6 Dunrobin,
Printed Name
Don + Sydna Gordon Garland, TX 75044
Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).
Sydna A Gordon Property owner + resident
Signature Title
Date: 4/7/16

Allmendinger, Tracy

From: Wauwie, Kira
Sent: Monday, June 27, 2016 1:44 PM
To: Allmendinger, Tracy
Cc: Guerin, Will
Subject: FW: File No. Z 16-08/District 1
Attachments: 2016-06-27 Ltr to Plan Commission.pdf

Tracy,
This is for tonight's Plan Commission meeting.
-Kira

From: Sydna Gordon [mailto:dgsg64@outlook.com]
Sent: Monday, June 27, 2016 1:37 PM
To: Wauwie, Kira <KWauwie@garlandtx.gov>
Cc: scottr@cr-ar.com; Gibbons, Councilman David <DGibbons@garlandtx.gov>; Mayor <mayor@garlandtx.gov>; Guerin, Will <WGuerin@garlandtx.gov>; Keith Black <tkeithblack@gmail.com>; Haroon Rasheed <hrasheed@hotmail.com>; ssuzyq646 <ssuzyq646@tx.rr.com>; RWBlesi@tx.rr.com; krkL98@aol.com; j-plata@ti.com; chash43@aol.com
Subject: File No. Z 16-08/District 1

Dear Ms. Wauwie,

Attached is The Hills of Breckinridge's letter in opposition to the above referenced agenda item for tonight's Plan Commission meeting.

If you will not be able to include the letter in the Commissioners' packets for tonight's meeting, please advise me at once.

Thank you,

Sydna Gordon
214-549-3330

The Hills of Breckinridge Homeowners Association, Inc.

Professionally Managed by SBB Management Company
An Accredited Association Management Company
8360 LBJ Freeway, Suite 300
Dallas, Texas 75243
(972) 960-2800 Fax (972) 991-6642

June 27, 2016

Garland Plan Commission
800 Main Street
Garland, Texas 75040

Via email to KWauwie@garlandtx.gov

Re: File No. Z 16-08/District 1

Dear Plan Commission Members:

The Hills of Breckinridge, the only contiguous landowner to the subject tract, continues its opposition to the above reference rezoning application. .

1. **The proposed rezoning is not the highest and best use of this tract of land.**
    - The proposed rezoning does not protect the character, scale, and function of the surrounding stable neighborhood. This is a goal set forth in *Envision Garland* in HN Policy 1.1.
    - 6000 square feet lots, only 55 feet wide, with 2500 square feet minimum house size, are incompatible with the only contiguous development, The Hills of Breckinridge. The lot sizes in The Hills of Breckinridge average 20,000 square feet.
    - The 6000 square feet lots, only 55 feet wide, are also incompatible with The Greens, southeast of this property. The Greens average lot sizes range from 10,000 to 12,500 square feet.
    - SF-5 is incompatible and inconsistent with The Hills of Breckinridge and with The Greens.
    - The highest and best use would include:
        i. No encroachment on existing floodplain.
        ii. Lots equal to, or greater than, The Greens' one-quarter acre lots.
        iii. Resulting in homes that sell in the mid-$600k range, and thereby resulting in a development of 10-12 homes.
        iv. No trees disturbed on the north and east side of the resulting green belt.

2. **25 narrow, shallow lots crowded onto the south side of the tract are incompatible with the only contiguous neighborhood, The Hills of Breckinridge.**
    - The small lots and the allowed minimum house size will not protect the character and scale of the surrounding neighborhoods nor will it protect the investment already made by the owners in The Hills of Breckinridge and The Greens.
    - "For newer neighborhoods not facing infrastructure and market decline, there must be an effort to protect the investment the owners have made." *Envision Garland,* page ii.
    - The Hills of Breckinridge is a newer neighborhood *not facing infrastructure and market decline*, and *the City must make an effort to protect the investments we have made*. Allowing 25 narrow, shallow lots crowded onto one side of the property will not protect our investment.
    - The houses will have extremely small front and back yards, incompatible with The Hills of Breckinridge and The Greens.
    - Front entry garages are not compatible with The Hills of Breckinridge or with The Greens developments.

3. **The trees along the creek contiguous to The Hills of Breckinridge cannot be protected, as shown by the Concept Plan in Exhibit C.**
    - The changes in the floodplain will require extensive excavation for the large retention pond and use of the excavated dirt to build up the thirteen lots and construct the circle on the east end.
    - It is inconceivable that this can be accomplished while protecting the trees.
    - One of the lots as well as the circle itself extend into the thirty foot tree preservation buffer.

4. **We continue to oppose the rezoning until a Final Flood Study is obtained.**

As we have stated at three previous Plan Commission meetings and at meetings with the developer, we are not opposed to the development of this property, but we oppose this rezoning and concept plan.

Yours truly,

Sydna Gordon

Sydna Gordon
Treasurer, The Hills of Breckinridge Homeowners Association, Inc.

Allmendinger, Tracy

From: Wauwie, Kira
Sent: Friday, June 24, 2016 7:56 AM
To: Allmendinger, Tracy
Subject: Z 14-08 PC 6-27 Hearing FW: Our telephone conversation this morning

From: Sydna Gordon [mailto:dgsg64@outlook.com]
Sent: Thursday, June 23, 2016 1:51 PM
To: chash43@aol.com
Cc: Gibbons, Councilman David <DGibbons@garlandtx.gov>; scottr@cr-ar.com; Wauwie, Kira <KWauwie@garlandtx.gov>; Guerin, Will <WGuerin@garlandtx.gov>; Mayor <mayor@garlandtx.gov>; Keith Black <tkeithblack@gmail.com>; RWBlesi@tx.rr.com; Haroon Rasheed <hrasheed@hotmail.com>; ssuzyq646 <ssuzyq646@tx.rr.com>; krkL98@aol.com; j-plata@ti.com
Subject: Re: Our telephone conversation this morning

Dear Mr. hicks,

The conversation between you and me this morning in no way alters the Hills of Breckinridge's June 14, 2016 written response to you, and this is the position we will go forward with at the Plan Commission on Monday.

Yours truly,
Sydna H. Gordon

The Hills of Breckinridge Homeowners Association, Inc.

Professionally Managed by SBB Management Company
An Accredited Association Management Company
8360 LBJ Freeway, Suite 300
Dallas, Texas 75243
(972) 960-2800 Fax (972) 991-6642

June 14, 2016

Via email *chash43@aol.com*

Mr. Charles Hicks, President
Hicks III Investments, Inc.
11825 forest Lakes lane
Dallas, Texas 75230

Dear Mr. Hicks:

This is in response to the Concept Plans you sent in your June 4, 2016 email.

After careful review and consultation with our homeowners, the Hills of Breckinridge HOA cannot support your rezoning request.

The proposed zoning change with the artificially created, narrow, shallow lots in the current floodplain results in a development incompatible with existing developments, particularly The Hills of Breckinridge and The Greens.

We are joined in opposition to the rezoning by members of The Greens.

We will communicate our opposition to the Plan Commission.

Yours truly,

Sydna Gordon

Sydna Gordon
Board Member
The Hills of Breckinridge Homeowners Association, Inc.

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 1, 2016

HEARING DATE/TIME: Plan Commission: April 11, 2016 – 7:00 PM

APPLICANT: Charles Hicks
File 16-08

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, April 11, 2016, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Charles Hicks**, requesting approval of 1) a zoning change from Agriculture (AG) District to Planned Development (PD) District for Single-Family-5 Uses and 2) a Concept Plan for Dwelling, Single-Family Detached. The property is shown on the enclosed sketch and is described as follows:

> BEING part of the C. A. Lovejoy Survey, Abstract No. 832, being all of a called 9.7637 acre tract conveyed to Charles P. Shannon by deed recorded in Volume 2004236, Page 2472 of the Deed Records of Dallas County, Texas. This property is bounded by East Brand Road to the west, East Campbell Road to the southeast, and The Hills of Breckinridge Replat to the north. (District 1)

Note: The applicant seeks approval of a zoning change and a Concept Plan, to develop the site with a single family subdivision.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474.** Should you have any questions, please contact Kira Wauwie at 972-205-2456.

(Please Check One Below)

_____ I am in favor of the request.

_____ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

_____

_____

_____

(Please complete the following information)

Your Property Address

_____

Printed Name

_____

Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

_____

Signature Title

Date: _____

April 7, 2016

HAND DELIVERED

Mr. Will Guerin
Director of Planning
City of Garland
800 Main Street
Garland, Texas 75040

Re: 2500 E. Brand Road at Campbell
Pre-submittal meeting case #151229-2

Dear Mr. Guerin:

The Hills of Breckinridge Homeowners Association hereby submit our requests for the proposed Concept Plan under consideration referenced above.

1. A flood study should be completed prior to approval.

2. Retaining walls should be mortared stone not concrete, rip rap, or rip rap-like construction or materials.
   - From a map the developer sent to several residents, the Existing Flood Plain line runs through the center of the proposed houses on the north side of the street.
   - The Proposed Flood Plain line would require the construction of very high retaining walls for these houses. The height of the retaining walls and the stability of the lots and the house foundations is of great concern; thus, we ask for the specific requirement for mortared stone retaining walls.

3. A tree study should be required for review prior to approval indicating which trees will be preserved and which removed. We ask for protection of the mature trees along the watershed/creek area in the flood plain. The tree study should include consideration of the impact of the proposed alteration in the Flood Plain line if such change requires a larger, deeper retaining pond and the trees' critical root zone be invaded, thus damaging the trees.

4. The minimum square footage of the lots should be 7500 sq. ft.

5. The minimum dwelling size should be 3000 sq. ft.

6. The exterior masonry requirements for home exteriors, excluding Durock or other cement boards, should be specified.

7. Lots backing up the "park"/flood plain area should be required to use wrought iron fencing.

8. There should be a masonry entry feature with the name of the subdivision at the entry.

9. There should be a requirement for a yearly maintenance fee to be paid by the proposed development to the Hills of Breckinridge HOA to defray costs of maintenance of the common fence. Changes in the flow rate, volume, or path the water will take due to changes in the flood plain will lead to additional erosion and necessary fence repair

We appreciate your attention to these issues.

Thank you,

Don Gordon
6 Dunrobin,

HOA Member

President, Hills of Breckinridge Homeowners Association

Member, Board of Directors

Member, Board of Directors

Member, Board of Directors

April 7, 2016

Mr. Will Guerin
Director of Planning
City of Garland
800 Main Street
Garland, Texas 75040

Re: 2500 E. Brand Road at Campbell
Pre-submittal meeting case #151229-2

Dear Mr. Guerin:

We have several requests and concerns about this proposed development.

1. This Concept Plan PD request should be postponed until a Flood Study is completed because (1) the proposal is based on a significant change in the Flood Plain Line, (2) houses will be built on lots where over one-half of the lot will be fill dirt, and (3) there is no information provided as to the height of the retaining walls or the construction methods or materials.
    - From a map the developer sent to several residents, the Existing Flood Plain line runs through the middle of the proposed houses on the north side of the street. These lots will have to be filled in. This will change the flood plain as well as the channel the water follows after heavy rains, so a Flood Study should be required prior to approval.

2. The retaining walls should be of masonry and engineered to withstand repeated heavy and deep running water after heavy rains.

3. The area along this Flood Plain already has significant flooding issues. A Flood Study should be completed prior to approval.

4. Protection of the mature trees along the watershed/creek area in the flood plain should be mandated in the Concept Plan prior to approval.
    - If the alteration in the Flood Plain line requires a larger, deeper retaining pond, the trees' critical root zones should be protected, and this should be mandated.

5. The minimum square footage should be 3000 sq. ft.

6. The width of the lots should be at least 60 ft.

We appreciate your attention to these issues.

Thank you,
Concerned Citizens

DALE GRounds
Dale Grounds

April 7, 2016

Mr. Will Guerin
Director of Planning
City of Garland
800 Main Street
Garland, Texas 75040

Re: 2500 E. Brand Road at Campbell
Pre-submittal meeting case #151229-2

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Concerned Citizens

April 7, 2016

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800 Main Street
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5. The minimum square footage should be 3000 sq. ft.

6. The width of the lots should be at least 60 ft.

We appreciate your attention to these issues.

Thank you, Sandra H. and William A. Martin
Concerned Citizens

April 7, 2016

HAND DELIVERED

Mr. Will Guerin
Director of Planning
City of Garland
800 Main Street
Garland, Texas 75040

Re: 2500 E. Brand Road at Campbell
Pre-submittal meeting case #151229-2

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We appreciate your attention to these issues.

Thank you,

_____

President, Hills of Breckinridge Homeowners Association

_____

Member, Board of Directors

_____

Member, Board of Directors

_____

Member, Board of Directors

HOA MEMBER

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 1, 2016

HEARING DATE/TIME: Plan Commission: April 11, 2016 – 7:00 PM

APPLICANT: Charles Hicks
File 16-08

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Note: The applicant seeks approval of a zoning change and a Concept Plan, to develop the site with a single family subdivision.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474.** Should you have any questions, please contact Kira Wauwie at 972-205-2456.

(Please Check One Below)

____ I am in favor of the request.

X I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.
The development will change the flood plain which could potential cause flooding. The proposed lots are only 50ft. instead of 60ft. The homes are not minimum of 3000 sq. feet

Your Property Address (Please complete the following information)

Diana J Harter
Printed Name

2 Balmoral, Richardson, TX 75082 (in the Hills of Breckinridge)
Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s)

Diana J Harter property owner
Signature Title

Date: 04/07/2016

outside notification area

April 11, 2016

Mr. Will Guerin
Director of Planning
City of Garland
800 Main Street
Garland, Texas 75040

Re: 2500 E. Brand Road at Campbell
File No: Z 16-08/District 1

Dear Mr. Guerin:

The Hills of Breckinridge Maintenance Association ("HOB") is the homeowners association of the Hills of Breckinridge. The Board of Directors of HOB hereby submits it opposition to (1) the proposed zoning change and (2) the Concept Plan submitted pursuant to the above referenced file.

The Hills of Breckinridge is the only contiguous landowner to the subject tract.

We oppose the application for these reasons:

1. **The proposed re-zoning does not protect the character, scale, and function of the surrounding stable neighborhood, a goal set forth in *Envision Garland* in HN Policy 1.1.**
    - SF-5 minimum dwelling unit size is 1500 sf. This is incompatible and inconsistent with the size of the homes not only in the Hills of Breckinridge but also in The Greens and The Oaks at Firewheel.
    - "For newer neighborhoods not facing infrastructure and market decline, there must be an effort to protect the investment owners have made." *Envision Garland*, page ii. The allowed minimum in SF-5 of 1500 sf will not protect the character and scale of the surrounding neighborhoods and nor will it protect the investment the owners in the surrounding neighborhoods have made.
    - A minimum dwelling unit size of at least 3,000 sf should be required for this tract to protect the character, scale and function of the surrounding stable neighborhoods and the investments of theses homeowners.

2. **The Concept Plan is inadequate**.
    - Exhibit C, the Concept Plan, is merely the outline of the tract with the flood plain line. N
    - The purpose of a Concept Plan for a Planned Development District is to provide a general layout of the proposed development prior to a more specific Detail Plan's being submitted. This Concept Plan fails to meet this purpose because it contains no information at all except the outline of the tract.
    - We oppose the Concept Plan due to its complete lack of information.

3. **Alteration/reclamation of the floodplain raises many issues, none of which are addressed in the Concept Plan or the Specific Regulations in Exhibit B.**
    - *Flooding*.
      There have been three flooding events within the last 12 months. In late 2015 a young father lost his life in the flood waters on Brand Road.
    - *Flood Study*.
      The results of a Flood Study will impact everything about this proposed development, including: the amount of land available for building; the height of retaining walls, the flow of the water during heavy rains; the impact on the contiguous properties including Brand Road; the preservations of trees and vegetation along the creek; the aesthetics regarding the retaining wall, existing trees and vegetation. Many of these issues can and should be addressed in the Concept Plan.
    - *Maintenance Costs*.
      Changes in the flow rate, volume, or path the water will take due to changes in the floodplain will lead to additional erosion and necessary fence repair.
      The yearly cost of maintaining the floodplain can be significant depending on the frequency and severity of flooding. There should be specific regulations in the PD Concept Plan for an HOA with maintenance responsibility for the open space/retention pond/floodplain. Because the Hills of Breckinridge maintains the fence between the properties, there should be a requirement for a yearly maintenance fee to be paid by the proposed development to the Hills of Breckinridge Maintenance Association to defray costs of maintenance of the common fence.
    - *Uncertainty due to lack of a Flood Study prior to a zoning change.*
      It is premature to approve this zoning change without knowing the full impact of alteration/reclamation of the floodplain.

4. **The 5500 sf minimum lot size and 50' width are not compatible with the HOB or The Greens, the two closest existing neighborhoods.**
    - The minimum lot size should be 7500 sf with a minimum 60' width.
    - The flood plain, which currently includes approximately 1/2 of the tract, will require the clustering of the lots along the Campbell Road boundary. This does not, however, necessitate 5500 sf lots.
    - We ask that the minimum lot size be 7500 sf.

"Garland's neighborhoods are the primary land use throughout the City and the heart of the community." *Envision Garland*, page ii, first sentence.

Throughout *Envision Garland,* the importance of stable neighborhoods is a constant theme. We support this vision and ask the Plan Commission to table or postpone action on this rezoning request to give the neighborhoods that will be permanently impacted by the re-zoning time to get some answers and to work with the developer.

Yours truly,
The Hills of Breckinridge Maintenance Association

By: Keith Black Address: 6 Kilchurn, Garland, TX
Keith Black, President – HOB HOA

Outside notification area

Outside the Notification Area

Suzetta Stule 26 Dunrobin Garland, Tx.

Board Member, Hills of Breckinridge Maintenance Association

Outside the Notification Area

R W Bean 21 BRAE LOCH, GARL. TX.

Board Member, Hills of Breckinridge Maintenance Association

Lydna Gordon 6 Dunrobin Garland, Texas

Board Member, Hills of Breckinridge Maintenance Association (noted)

APR 11 2016

Detailed Description
2500 E Brand Road
Pre-Submittal Meeting Case #151229-2

The subject site consists of 9.7 acres that is currently undeveloped and unplatted. It is an odd-shaped parcel currently zoned Agriculture containing a creek and floodplain area. Approximately 2.6 acres will remain undeveloped and will serve as common area for the proposed residential development. The area surrounding the subject site consists of single-family residential neighborhoods; therefore, the proposed development would be compatible for this area.

Due to the creek and existing floodplain, a comprehensive flood study is currently being conducted. This study will be required as part of the future platting and zoning processes. The primary purpose of the study is to determine the extent of the watershed affecting this property and the flowage rates into and out of the study area. It further serves to establish the manner in which the property may be developed, and assuring that neighboring properties upstream and downstream are not adversely affected by the proposed development. Other items to be addressed through the zoning and platting processes include joint efforts with the city of Garland regarding future improvements to Campbell and Brand Roads as well as other infrastructure improvements.

Planned Development District Request:

Due to the floodplain areas, much of the property will not be suitable for development; therefore, the lot sizes have been adjusted to maximize remaining land. Planned lot dimensions are 50' X 110' for those lots backing up to the common area adjacent to the floodplain area, and 50' X 120' for those lots backing up to Campbell Road. The minimum lot size for the 29 lot single-family (detached) development will be approximately 5500 sq. ft. and the minimum dwelling size will be approximately 2000 sq. ft. After a review of the Garland Development Code, the minimum lot width for SF districts is 55'. A planned development district is requested in order to accommodate the planned 50' lot widths. Additionally, the proposed development as shown on the conceptual land plan included with this request does not appear to warrant the use of alleys to access the lots.

A neighborhood meeting was held on February 4th to discuss the project with neighboring homeowner associations. One of the items requested at that meeting was the assurance that the screening wall along East Campbell Road would be compatible with other subdivision perimeter walls in the area. That design standard has been incorporated into this request.

Comprehensive Plan Compatibility:

Envision Garland states that, "Envision Garland aims to protect and strengthen existing single-family neighborhoods, but also to allow new neighborhoods for residents desiring different types of homes, features, and experiences. Garland can be home to both the traditional, family friendly, established neighborhoods and also to more urban, diverse, and transportation accessible residential districts."

Garland faces "build-out" in that nearly all of the vacant land in the city has already been developed. The subject site is one of a few developable areas left within the city for new home construction. According to the city's comprehensive plan, approximately 60% of homes were constructed prior to 1989. Demand for new single-family homes is projected to increase by 3500 units by 2030 and this proposal would assist in that endeavor.

Examples of the goals and policies contained in Chapter 5 that align with the proposed project are as follows:

Goal 1: Protect and revitalize existing stable neighborhoods.

HN Policy 1.1: Protect the character, scale, and function of stable neighborhoods through land use regulations, development standards, code enforcement, and other tools available to the City and local residents.

Goal 2: Encourage a community of vital, livable neighborhoods that meet the needs and preferences of current and future Garland residents.

HN Policy 2.3: Support public and private improvements that enhance homes and neighborhoods by integrating these principles into all public project planning, development standards, and City services and by encouraging best practices in private development.

Goal 6: Support new development and redevelopment that enhances neighborhood stability, and desired development patterns and furthers community revitalization.

HN Policy 6.1: Utilize major renovation projects, redevelopment, or infill development to take advantage of opportunities to reestablish or strengthen desirable traditional development patterns and stabilize neighborhoods and activity centers within the area.

HN Policy 6.2: Ensure that new infill development and major redevelopment projects are integrated into and compatible with surrounding development patterns and types, and support or enhance the character of the immediate area and community as a whole.

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE _____

East of Brand Road and north of East Campbell Road

I. Statement of Purpose: The purpose of this Planned Development is to permit the development of Single- Family Uses.

II. Statement of Effect: This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.

III. General Regulations: All regulations of the Single-Family-5 (SF-5) District, as set forth in Chapter 2 of the Garland Development Code, are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Development Plans:

Concept Plan: Development shall be in general conformance with the Concept Plan; however, in the event of conflict between the Concept Plan and the written conditions, the written conditions shall apply.

Detail Plan: Approval of a Detail Plan is required prior to any development on the property reflected on the Concept Plan.

V. Specific Regulations:

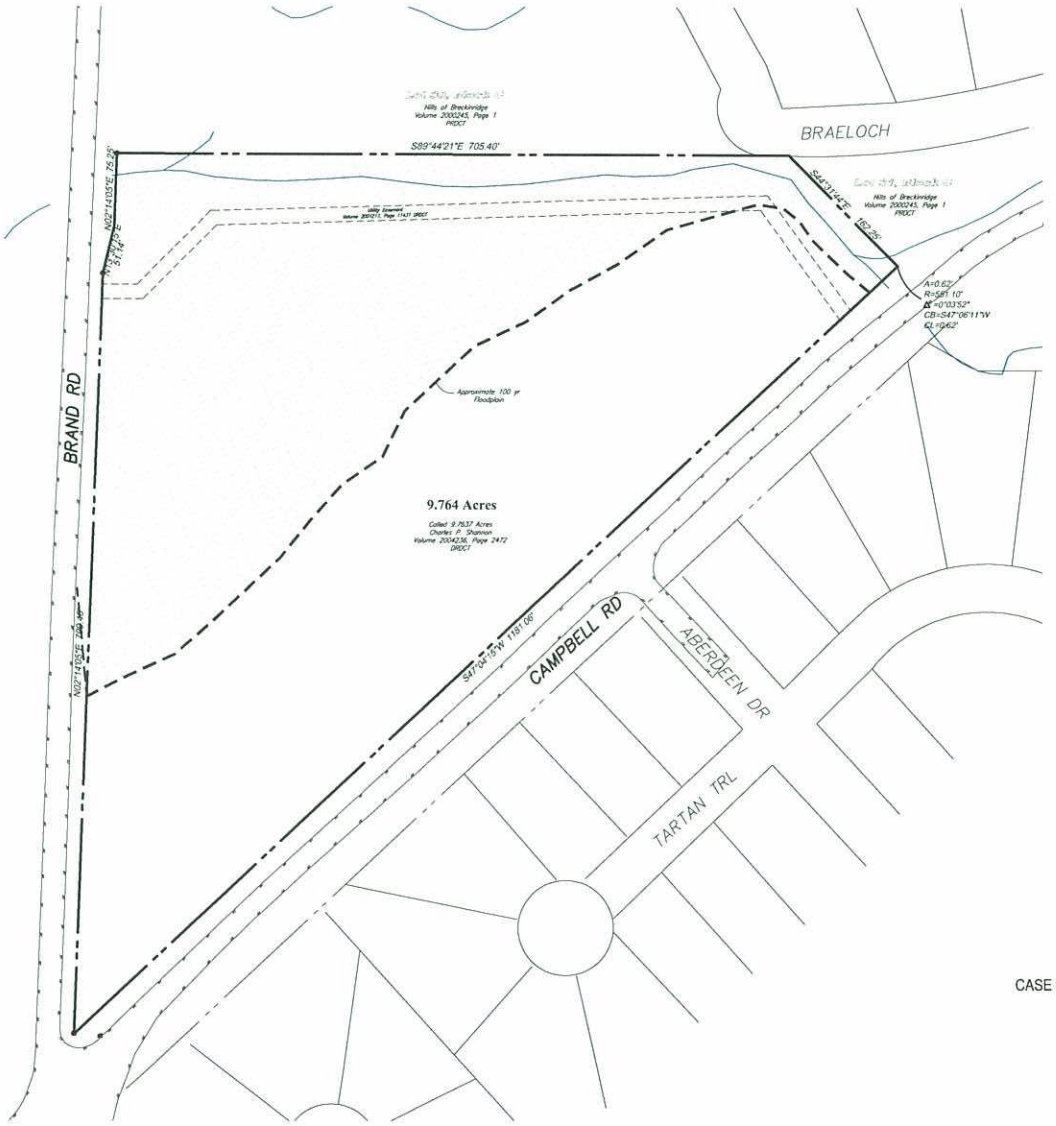
A. Permitted Uses: Dwelling, Single-Family detached.

B. Screening: Screening along East Campbell Road must be constructed of masonry materials.

C. Lot width shall be a minimum of 50 feet.

D. Alleys shall not be required.

LOCATION MAP



SITE DATA TABLE

TOTAL AREA:	425,306 SF (9.764 AC)
FRONT SETBACK	20'
SIDE SETBACK	5'
SIDE SETBACK AT CORNER	15'
REAR SETBACK	10'
REAR SETBACK ALONG CAMPBELL	20'
EXISTING ZONING	AG
PROPOSED ZONING	PD
NUMBER OF LOTS:	29
AVERAGE LOT SIZE	6,450 SF
MINIMUM LOT SIZE	5,500 SF
FLOODPLAIN AREA	200,503 SF (4.60 AC)
PROPOSED FLOODPLAIN RECLAMATION	89,111 SF (2.04 AC)

CASE # _____

ZONING EXHIBIT

CREEKS AT CAMPBELL

9.764 ACRES OUT OF LOVEJOY SURVEY
ABSTRACT NO. 832
CITY OF GARLAND, DALLAS COUNTY, TEXAS

CHARLES P SHANNON — OWNER

CHARLES L HICKS — DEVELOPER
11825 FOREST LAKES LANE
DALLAS, TX 75030
(214)-587-9500

MARSHALL GAGE LLC — ENGINEER
207 E. VIRGINIA ST SUITE 216
McKINNEY, TX 75069
(214) 986-9016

Texas Registered Engineering Firm F-14343

MARCH 4, 2016

Sheet 1 of 1

Marshall Gage LLC

Allmendinger, Tracy

To: Wauwie, Kira
Subject: RE: Charles Hicks Z 16-08 Community Correspondence FW: Meritage Homes examples

Tracy Allmendinger
Department Coordinator II
Planning & Community Development
P: 972-205-2445 | F: 972-205-2474

From: Audra Buckley [mailto:permitteddevelopment@tx.rr.com]
Sent: Wednesday, March 30, 2016 5:34 PM
To: Wauwie, Kira
Subject: FW: Meritage Homes examples

Hi Kira:

Good to chat with you this afternoon. The attached and below is what I sent Ms. Gordon.

Audra Buckley, Land Planner/Project Manager
Permitted Development
416 S Ervay Street
Dallas, TX 75201
214-686-3635
http://www.permitteddevelopmentdfw.com

From: Audra Buckley [mailto:permitteddevelopment@tx.rr.com]
Sent: Wednesday, March 30, 2016 5:19 PM
To: 'chash43@aol.com'; 'dgsg64@outlook.com'
Subject: RE: Meritage Homes examples

Outside notification area

Ms. Gordon:

I can answer some of your questions and I've attached the SF-5 zoning regulations and our PD conditions for your review. We will be following SF-5 zoning with the exception of lot width and those items listed in the last section of the conditions. As far as lot sizes, square footage of those lots, etc. those will comply with SF-5. As far as retaining walls, the trail's location and the flood study – those items can't be addressed by anybody until the flood study is complete. It is in process but we're several weeks out from completion. Tree preservation will follow Garland's development code – we're not requesting any changes with that.

This initial zoning is merely to allow single-family development – as indicated by the attached zoning exhibit. However, there will be a follow up zoning process. A detailed development plan application and all of its requirements will be submitted once this portion is complete and all of the design questions you have will be answered at that time. As you probably know, that process does require a public hearing. Those documents will go to P&Z and Council.

I have some things to attend to this evening but I will be available tomorrow afternoon after 2:00 for a phone conversation. Let me know a good time. In the meantime, please contact our city planner Kira Wauwie with the city of Garland 972-205-2456 for more information on our current application and the various processes.

Audra Buckley, Land Planner/Project Manager
Permitted Development
416 S Ervay Street

Dallas, TX 75201
214-686-3635
http://www.permitteddevelopmentdfw.com

-----Original Message-----
From: Sydna Gordon <dgsg64@outlook.com>
To: chash43 <chash43@aol.com>
Sent: Wed, Mar 30, 2016 2:23 pm
Subject: Re: Meritage Homes examples

Dear Mr. Hicks,

There are so many questions I have, as do others, that a continuation of emails seems counterproductive. What about the retaining walls, the entrance requirements, the walking trail, the preservation of trees, the flood study, the square footage, lot sizes, the actual elevations rather that "desired product", just to mention a few.

Perhaps your zoning consultant could enlighten us as to many of these issues by the use of a Detail Plan for this PD.

Thank you,
Sydna Gordon

Allmendinger, Tracy

From: Wauwie, Kira
Sent: Monday, May 23, 2016 10:17 AM
To: 'Audra Buckley'; chash43@aol.com; Guerin, Will; Allmendinger, Tracy
Subject: FW: Zoning File #Z 16-08/District 1 Campbell and Brand

Additional Correspondence for Z 16-08, today's Plan Commission Hearing May 23rd

From: todd meyer [mailto:toddmeyer02@yahoo.com]
Sent: Monday, May 23, 2016 9:19 AM
To: Wauwie, Kira; amy624@we.com
Subject: Zoning File #Z 16-08/District 1 Campbell and Brand

L"Kira,

My name is Todd Meyer. I'm a property owner (21 Dunrobin) in the Hills of Breckinridge.

As a Garland resident and tax payer I'm strongly opposed to the above referenced Zoning Request for a number of reasons.

1.) The property vales of my home in HOB and the adjacent neighborhoods (north of Brand and east of Campbell) will be negatively impacted by the new community. The proposed lot size/configurations, and square footage requirements as proposed, will result in a high density property that will not be consistent with adjoining communities. I hope the commission will support proper restrictions (those requested by HOB) on the project to protect he EXISTING neighborhoods.

2.) The current proposal for tree removal is unacceptable. At a minimum, trees within 30 feet of the creek Bank need to be preserved. One of the truly unique aspects of living in the Firewheel area is our abundant native trees. Let's ensure this valuable asset is protected.

3.) In my opinion, the proposed project should not move forward without a full and proper Flood Plain Study and Survey. This entire area is plagued by flooding. Over a hundreds homes and hundreds of thousands of dollars in property tax could be negatively impacted if we don't proceed with caution.

Please share my concerns with the members on the commission.

Thank you for your consideration.

Todd and Martha Meyer
21 Dunrobin

Sent from Yahoo Mail for iPad

April 7, 2016

Mr. Will Guerin
Director of Planning
City of Garland
800 Main Street
Garland, Texas 75040

Re: 2500 E. Brand Road at Campbell
Pre-submittal meeting case #151229-2

Dear Mr. Guerin:

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1. This Concept Plan PD request should be postponed until a Flood Study is completed because (1) the proposal is based on a significant change in the Flood Plain Line, (2) houses will be built on lots where over one-half of the lot will be fill dirt, and (3) there is no information provided as to the height of the retaining walls or the construction methods or materials.
    - From a map the developer sent to several residents, the Existing Flood Plain line runs through the middle of the proposed houses on the north side of the street. These lots will have to be filled in. This will change the flood plain as well as the channel the water follows after heavy rains, so a Flood Study should be required prior to approval.

2. The retaining walls should be of masonry and engineered to withstand repeated heavy and deep running water after heavy rains.

3. The area along this Flood Plain already has significant flooding issues. A Flood Study should be completed prior to approval.

4. Protection of the mature trees along the watershed/creek area in the flood plain should be mandated in the Concept Plan prior to approval.
    - If the alteration in the Flood Plain line requires a larger, deeper retaining pond, the trees' critical root zones should be protected, and this should be mandated.

5. The minimum square footage should be 3000 sq. ft.

6. The width of the lots should be at least 60 ft.

We appreciate your attention to these issues.

Thank you,
Concerned Citizens

DALE Grounds
Dale Grounds

April 7, 2016

Mr. Will Guerin
Director of Planning
City of Garland
800 Main Street
Garland, Texas 75040

Re: 2500 E. Brand Road at Campbell
Pre-submittal meeting case #151229-2

Dear Mr. Guerin:

We have several requests and concerns about this proposed development.

1. This Concept Plan PD request should be postponed until a Flood Study is completed because (1) the proposal is based on a significant change in the Flood Plain Line, (2) houses will be built on lots where over one-half of the lot will be fill dirt, and (3) there is no information provided as to the height of the retaining walls or the construction methods or materials.
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Thank you,
Concerned Citizens

April 7, 2016

Mr. Will Guerin
Director of Planning
City of Garland
800 Main Street
Garland, Texas 75040

Re: 2500 E. Brand Road at Campbell
Pre-submittal meeting case #151229-2

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2. The retaining walls should be of masonry and engineered to withstand repeated heavy and deep running water after heavy rains.

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4. Protection of the mature trees along the watershed/creek area in the flood plain should be mandated in the Concept Plan prior to approval.
    - If the alteration in the Flood Plain line requires a larger, deeper retaining pond, the trees' critical root zones should be protected, and this should be mandated.

5. The minimum square footage should be 3000 sq. ft.

6. The width of the lots should be at least 60 ft.

We appreciate your attention to these issues.

Thank you, Sandra H. and William A. Martin
Concerned Citizens

April 7, 2016

HAND DELIVERED

Mr. Will Guerin
Director of Planning
City of Garland
800 Main Street
Garland, Texas 75040

Re: 2500 E. Brand Road at Campbell
Pre-submittal meeting case #151229-2

Dear Mr. Guerin:

The Hills of Breckinridge Homeowners Association hereby submit our requests for the proposed Concept Plan under consideration referenced above.

1. A flood study should be completed prior to approval.

2. Retaining walls should be mortared stone not concrete, rip rap, or rip rap-like construction or materials.
   - From a map the developer sent to several residents, the Existing Flood Plain line runs through the center of the proposed houses on the north side of the street.
   - The Proposed Flood Plain line would require the construction of very high retaining walls for these houses. The height of the retaining walls and the stability of the lots and the house foundations is of great concern; thus, we ask for the specific requirement for mortared stone retaining walls.

3. A tree study should be required for review prior to approval indicating which trees will be preserved and which removed. We ask for protection of the mature trees along the watershed/creek area in the flood plain. The tree study should include consideration of the impact of the proposed alteration in the Flood Plain line if such change requires a larger, deeper retaining pond and the trees' critical root zone be invaded, thus damaging the trees.

4. The minimum square footage of the lots should be 7500 sq. ft.

5. The minimum dwelling size should be 3000 sq. ft.

6. The exterior masonry requirements for home exteriors, excluding Durock or other cement boards, should be specified.

7. Lots backing up the "park"/flood plain area should be required to use wrought iron fencing.

8. There should be a masonry entry feature with the name of the subdivision at the entry.

9. There should be a requirement for a yearly maintenance fee to be paid by the proposed development to the Hills of Breckinridge HOA to defray costs of maintenance of the common fence. Changes in the flow rate, volume, or path the water will take due to changes in the flood plain will lead to additional erosion and necessary fence repair

We appreciate your attention to these issues.

Thank you,

_____

President, Hills of Breckinridge Homeowners Association

_____

Member, Board of Directors

_____

Member, Board of Directors

_____

Member, Board of Directors

HOA MEMBER

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 1, 2016

HEARING DATE/TIME: Plan Commission: April 11, 2016 – 7:00 PM

APPLICANT: Charles Hicks
File 16-08

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, April 11, 2016, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Charles Hicks**, requesting approval of 1) a zoning change from Agriculture (AG) District to Planned Development (PD) District for Single-Family-5 Uses and 2) a Concept Plan for Dwelling, Single-Family Detached. The property is shown on the enclosed sketch and is described as follows:

BEING part of the C. A. Lovejoy Survey, Abstract No. 832, being all of a called 9.7637 acre tract conveyed to Charles P. Shannon by deed recorded in Volume 2004236, Page 2472 of the Deed Records of Dallas County, Texas. This property is bounded by East Brand Road to the west, East Campbell Road to the southeast, and The Hills of Breckinridge Replat to the north. (District 1)

Note: The applicant seeks approval of a zoning change and a Concept Plan, to develop the site with a single family subdivision.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474.** Should you have any questions, please contact Kira Wauwie at 972-205-2456.

(Please Check One Below)

__✓__ I am in favor of the request.*

_____ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

* Developer needs to provide entrances on both Campbell & Brand. There are too many additional cars from development added to that busy intersection from Campbell.

(Please complete the following information)

Your Property Address
~~901 Glen Meadow Ct.~~ Greg & Bonnie McMurdie
Printed Name
~~Greg~~ 901 Glen Meadow Ct Garland TX 75044
Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature Title
Date:
Bonnie McMurdie
Greg

Outside notification area

April 7, 2016

Mr. Will Guerin
Director of Planning
City of Garland
800 Main Street
Garland, Texas 75040

Re: 2500 E. Brand Road at Campbell
Pre-submittal meeting case #151229-2

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    - If the alteration in the Flood Plain line requires a larger, deeper retaining pond, the trees' critical root zones should be protected, and this should be mandated.

5. The minimum square footage should be 3000 sq. ft.

6. The width of the lots should be at least 60 ft.

We appreciate your attention to these issues.

Thank you,
Concerned Citizens

Myrtle Gifford
216 Brae Lock

Outside notification area

April 7, 2016

Mr. Will Guerin
Director of Planning
City of Garland
800 Main Street
Garland, Texas 75040

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Thank you,
Concerned Citizens

Steve & Kim Pickett
29 Dunrobin
Garland, TX 75044

Outside notification area

April 7, 2016

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Director of Planning
City of Garland
800 Main Street
Garland, Texas 75040

Re: 2500 E. Brand Road at Campbell
Pre-submittal meeting case #151229-2

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6. The width of the lots should be at least 60 ft.

We appreciate your attention to these issues.

Thank you,
Concerned Citizens

Suzette Steele
26 Dunrobin
Garland, TX

Outside notification area

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 1, 2016

HEARING DATE/TIME: Plan Commission: April 11, 2016 – 7:00 PM

APPLICANT: Charles Hicks
File 16-08

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Note: The applicant seeks approval of a zoning change and a Concept Plan, to develop the site with a single family subdivision.

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(Please Check One Below)

✓ I am in favor of the request.

____ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.
Would prefer number of homes be reduced to 20-23 instead of 28 due to traffic & over-crowding concerns.

(Please complete the following information)

Your Property Address 7010 Tartan Trail

Printed Name Ken & Nancy Kirkland

Address Garland, TX 75044
City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Nancy Kirkland
Signature Title

Date: 4/7/16

Outside notification area

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

GARLAND

April 1, 2016

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APPLICANT: Charles Hicks
File 16-08

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(Please Check One Below)

____ I am in favor of the request.

✓ I am opposed to the request. unless two outlets are provided —

Please include any comments you wish to provide supporting your position in the space provided below.

This development will increase the already high traffic on Campbell Rd. - must have 2 outlets, one on Campbell Rd and one for Brand Rd. *

(Please complete the following information)

Your Property Address

CINDY & WALTER JORDAN
Printed Name

902 GLEN MEADOW CT., GARLAND, TX 75044
Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Cynthia Jordan Walt Jordan homeowners
Signature Title

Date: 4-7-16

* Our opinion is based on personal experience getting out of Calm Meadow onto Campbell Rd. during morning and evening ~~at~~ rush hour traffic.

Outside notification area

*below

ZONING PROTEST PETITION

Zoning Case Being Protested:
Zoning Case File No. Z 16-08 / District 1 a change from Agriculture (AG) District to Planned Development (PD) District for Single-Family-5 (SF-5) Uses.
Location of the Property:
The property is bounded by Brand Road to the west, The Hills of Breckinridge Replat to the north, and Campbell Road to the southeast.

We, the undersigned, do hereby protest the change to the zoning regulations proposed in the above-described City of Garland Zoning Case. **We own property within 200 feet of the property the subject of this zoning case.** This protest is made pursuant to Texas Local Government Code Section 211.006(d), and the Garland Development Code. By signing below, we hereby represent that we are the owners or are authorized to sign this protest on behalf of the identified owners.

Protestors Names and Property Description:

Keith Black, President Hills of Breckinridge Maintenance Association, Inc. Printed Name	Signature
2600 Kinloch (north and east of zoning case property) Address of property within 200 feet	Date 5-4-16

ART BARRAZA 5 BRAE LOCH GARLAND TX 75044 Printed Name	Signature
Address of property within 200 feet	Date 5-4-16

Printed Name BRANDON DINH	Signature
9 BRAE LOCH GARLAND TX 75044 Address of property within 200 feet	Date 5/6/16

Haroon Rasheed Printed Name	Signature 5/23/16
1 Brae Loch Garland TX 75044 Address of property within 200 feet	Date

Printed Name	Signature
Address of property within 200 feet	Date

Printed Name	Signature
Address of property within 200 feet	Date

Printed Name	Signature
Address of property within 200 feet	Date

ZONING PROTEST PETITION

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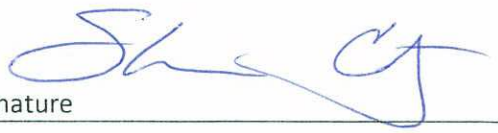
Protestors Names and Property Description:

Shawn Cox Printed Name	 Signature
7026 Calm Meadow Court Address of property within 200 feet	6 May 16 Date

Autumn Cox Printed Name	 Signature
7026 Calm Meadow Ct Garland TX 75044 Address of property within 200 feet	May 6th 2016 Date

Printed Name Kathy K Moore	Signature Kathy K Moore
6915 Shamrock Ct. Address of property within 200 feet	Date 5/6/16

James Boone Printed Name	Signature James O Boone
7106 Tartan Tr1, Garland TX 75044 Address of property within 200 feet	Date 5/6/16

DAVE JACKSON Printed Name	Signature Dave Jackson 5-6-16
7118 TARTAN TRL. Address of property within 200 feet	Date 5-6-16

KEN + NANCY KIRKLAND Printed Name	Signature Ken M Kirkland
7010 TARTAN TRAIL GARLAND TX 75044 Address of property within 200 feet	Date 5-6-16

JOHN + CINDY PLATA Printed Name	Signature
7022 TARTAN TRAIL GARLAND, TX 75044 Address of property within 200 feet	Date 5-7-16

ZONING PROTEST PETITION

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Protestors Names and Property Description:

Trevor Marzluff Printed Name	 Signature
7102 Tartan Trl Garland Tx 75044 Address of property within 200 feet	5/6/16 Date

Merrick L Reed 7114 Tartan Trl Printed Name	Merrick Reed Signature Garland Tx 75044
Address of property within 200 feet	Date

Rhonda Manessier Printed Name	Rhonda Manessier Signature
7018 Tartan Trail Address of property within 200 feet	5-6-16 Date

Ron Green Printed Name	Ron Green Signature
7014 Tartan Trail Address of property within 200 feet	5-6-16 Date

Curtis Culwell Printed Name	Curtis Culwell Signature
7030 TARTAN TR Address of property within 200 feet	5-6-16 Date

PHILIP BILSKY Printed Name	Philip Bilsky Signature
7026 TARTAN TRL Address of property within 200 feet	5-6-16 Date

Bonnie McMurdie Printed Name	Bonnie McMurdie Signature
901 Glen Meadow Ct. Address of property within 200 feet	5/7/16 Date

GARLAND
PLANNING REPORT

City Council Regular Session Agenda **Agenda Item 7. b.**

Meeting Date: August 2, 2016
Item Title: Z 16-20 Baldwin Associates
Submitted By: Will Guerin, Planning Director

REQUEST

Approval of a Specific Use Provision for Charter School on a property zoned Single-Family-7 (SF-7) District

OWNER

Arapaho Baptist Church

PLAN COMMISSION RECOMMENDATION

On July 11, 2016 the Plan Commission, by a vote of seven (7) to zero (0), recommended approval of Specific Use Provision for a Charter School for a period of five (5) years.

STAFF RECOMMENDATION

Approval of a Specific Use Provision for a Charter School for a period of five (5) years. A charter school at this location does not pose an increase in commercial activity to the subject property and adds an educational use to an existing institutional use. The thoroughfare management plan will help to mitigate the impact of vehicles on the surrounding area.

BACKGROUND

The applicant requests approval of a Specific Use Provision to use the existing building currently used as the church fellowship hall and previously used for a charter school. The proposed charter school would be for grades nine to twelve. Charter schools require approval of a Specific Use Provision through the public hearing process in all zoning districts.

SITE DATA

The subject lot contains 8.57 acres with approximately 670 feet of frontage along Arapaho Road. There are three access points to Arapaho Road and the site can only be accessed from Arapaho Road.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is restricted to the uses permitted by the Single-Family-7 (SF-7) District. This district is intended for primarily low density detached single-family residences on a variety of lot sizes, and institutional uses such as churches, public schools, and parks. Public schools are allowed by right. Private schools require approval of a Specific Use Provision.

In 2013 City Council approved Specific Use Provision 13-27 for a charter school (International Leadership of Texas) for a period of one year. The International Leadership of Texas school was housed in the fellowship hall, a portion of the worship center, and a building which is now used for a day care. The Specific Use Provision is expired. The International Leadership of Texas is no longer located on the subject site.

In 2015 City Council approved Specific Use Provision 15-34 for day care, youth – licensed child care center (Lionheart Children's Academy). The day care currently is located on the site.

CONSIDERATIONS

1. The site is improved as a campus with a church, day care, and fellowship hall. The fellowship hall is proposed to house the charter school and is located on the northeast portion of the site. The church is located on the east portion of the site, and the day care is located on the southeast portion of the site.

2. The proposed charter school will be operated as Texans Can Academy and from the existing 28,900-square foot fellowship hall. This location will house grades nine through twelve. Classes are split between a morning session (7:30 a.m. to 12:00 p.m.) and an afternoon session (12:30 p.m. to 5:00 p.m.). A maximum of 175 students will be enrolled per session. The building will accommodate a total of 9 classrooms.

3. The parking requirement for a charter school is based on the grade level and number of students. One parking space is required for every 3 high school students. For this proposal, 59 parking spaces are required and the 59 parking spaces are available. Adequate parking is provided on the site for the church, day care, and school uses.

4. Based on the enrollment size of the Charter School and the location, the Transportation Department requested a Traffic Impact Study and Traffic Management Plan be submitted by the applicant to analyze the traffic impacts on Arapaho Road and surrounding area. Additionally, the purpose of the Traffic Impact Study and Traffic Management Plan is to display the ability for the traffic to be circulated efficiently during drop-off and pick-up times. The Traffic Management Plan reflects a one-way circular drive for entry, designated pick up, and drop off areas.

   The site is located on Arapaho Road, a major thoroughfare. Although not adjacent to the site, a DART bus stop is located approximately 1,500 feet from the campus, on Arapaho Road west of Shiloh Road. Another DART bus stop is located on Shiloh Road south of Arapaho Road approximately 1,500 feet from the campus. The application indicates that typically 70 percent of students use transit. However, given greater distance to bus stop compared to comparable schools with bus stops adjacent to the school location, the Traffic Impact Study and Traffic Management Plan assumed no transit ridership. The analysis thus assumed all students arrive either in their own vehicle or were dropped off by parents. Signage will be installed at the entrances to separate the charter school and day care traffic.

5. The proposal is to use an existing building. There are no plans to expand the building, parking lot, or landscaping. The exterior of the building will remain unchanged.

6. The school would support the overall community by providing educational opportunities, resulting in increased educational attainment, skills, and a better equipped workforce for the employment sector of the local economy.

7. A Specific Use Provision for a period of five (5) years is being requested by the applicant.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Compact Neighborhoods for the subject property. Compact Neighborhoods are characterized by a conventional neighborhood setting with medium-density housing options. The typical neighborhood may include patio homes, duplexes, townhomes, and other small-lot housing types. Developments within this category are predominantly residential, but may include compatible non-residential uses.

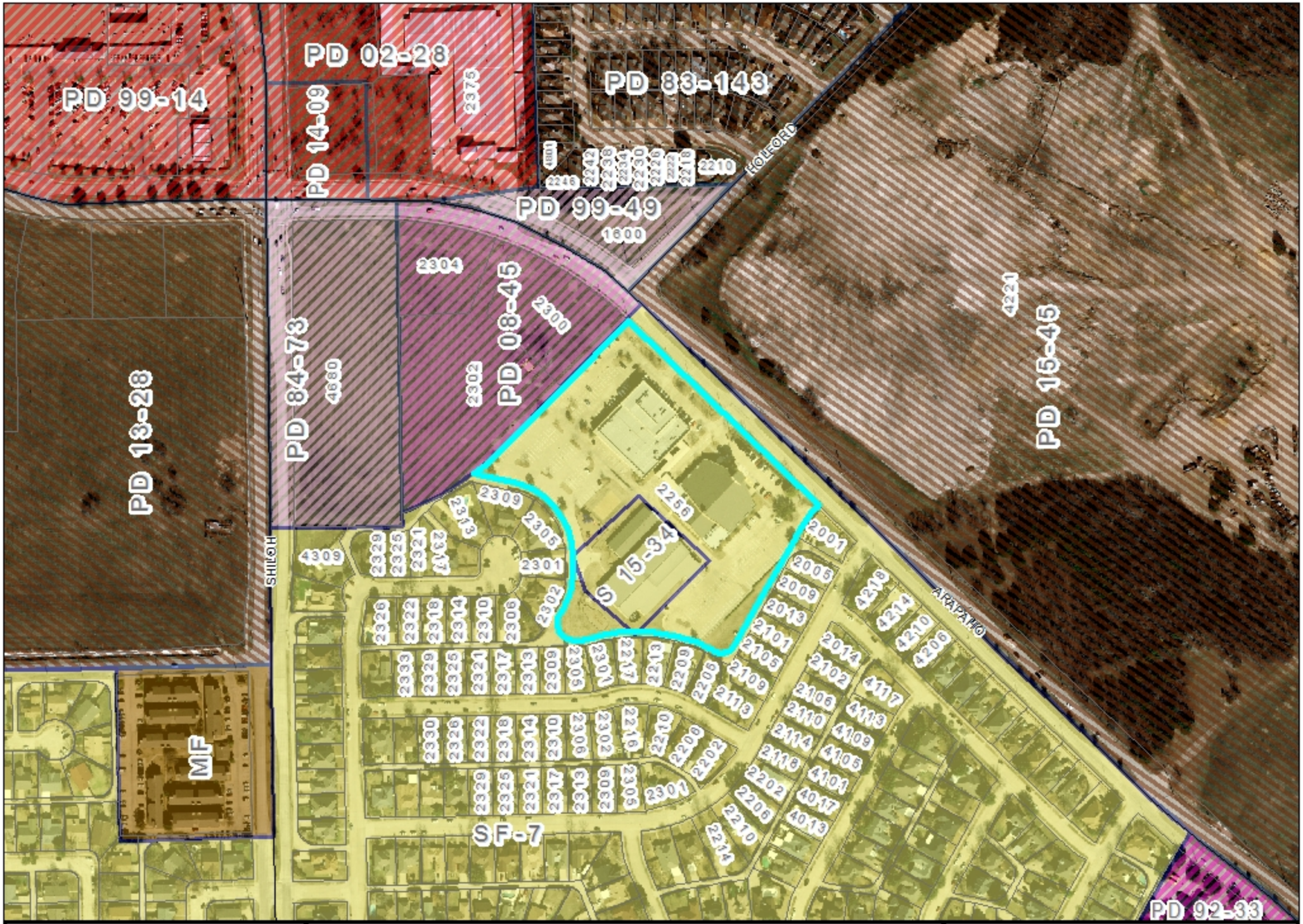
COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The surrounding area consists of a mixture of non-residential and residential zoned properties. The property to the west is zoned Planned Development (PD) District 08-45 for Community Office and is unimproved. South and east of the site are single-family dwellings in the Camelot subdivision zoned Single-Family-7 (SF-7). North, across Arapaho Road, is an undeveloped property zoned Planned Development (PD) District 15-45 for Single-Family-5 Uses, Multi-Family Uses and Limited Community Office Uses.

Attachments

Z 16-20 Baldwin Associates Attachments

Z 16-20 Baldwin Associates Responses


PD 99-14
PD 02-28
PD 14-09
PD 83-143
PD 99-49
PD 08-45
PD 84-73
PD 13-28
PD 15-45
PD 92-33
S 15-34
MF
SF-7
SHILOH
HOLFORD
ARAPAHO
0 150 300 Feet
1 inch = 300 feet
ZONING Z 16-20
INDICATES AREA OF REQUEST

SPECIFIC USE PROVISION CONDITIONS

ZONING FILE Z 16-20

I. Statement of Purpose: The purpose of this Specific Use Provision is to permit a Charter School on the subject property.

II. Statement of Effect: This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.

III. General Regulations: All regulations of the Single-Family-7 (SF-7) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Specific Regulations:

A. Time Period: The Specific Use Provision shall be in effect for a period of five years and for a maximum enrollment of 175 students (grades 9 through 12) per session for the two sessions specified in B. below. Exceeding the five (5) years or the 175 students per session shall require a new Specific Use Provision and a new Traffic Impact Study (TIS) to be performed to include annual growth for the surrounding area.

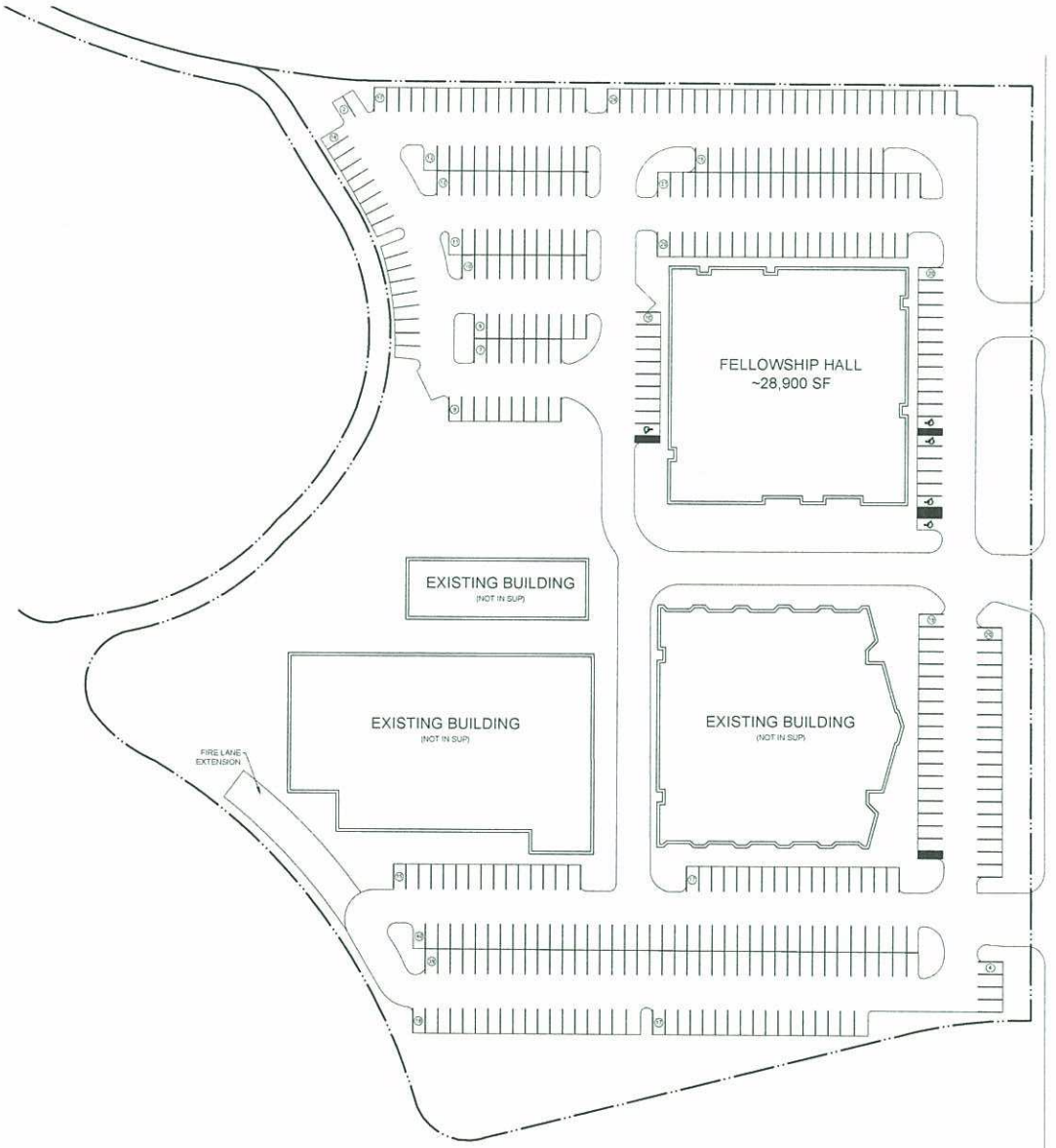
B. Days and Hours of Operation: Classes are split between a morning session (7:45 a.m. to 12:00 p.m.) and an afternoon session (12:30 p.m. to 4:30 p.m.) Monday through Friday.

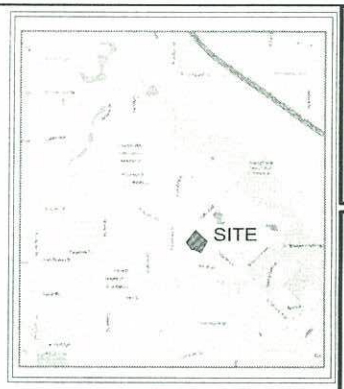
C. Traffic Management Plan: School operation shall conform to the approved Traffic Management Plan, any deviation shall require prior approval from the City of Garland Transportation Department.

D. Traffic Signs: Prior to the issuance of a Certificate of Occupancy, the site shall be improved with signs that separate and direct traffic to designated drop-off/pick-up lanes and parking for the charter school and day care uses.

E. Site Layout: The site shall conform to the site layout reflected on Exhibit C.

EXHIBIT B





VICINITY MAP
NTS

NORTH

SITE INFORMATION:

PROPOSED CHARTER HIGH SCHOOL
GRADES 9-12 IN FELLOWSHIP
HALL BUILDING

CLASSROOMS:	9
STUDENTS:	175
REQUIRED PARKING:	58 (1:3)

EXISTING PARKING REQUIREMENTS:

CHILDCARE SUP:	45 P/S
CHURCH (700 SEATS):	175 P/S

TOTAL PARKING REQUIRED:	278
TOTAL PARKING PROVIDED:	401 P/S

CASE NUMBER: Z16 - 20

NORTH

1 TEXAS CAN ACADEMY SUP SITE PLAN
SCALE: 1" = 40'-0"

40 0 20 40 80 160

07/01/2016

BALDWIN ASSOCIATES
3904 Elm Street, Suite B
Dallas, Texas 75226
MOBILE: 214.729.7949
OFFICE: 214.824.7949
rob@baldwinplanning.com

Baldwin Associates

2256 ARAPAHO
CITY OF GARLAND, TEXAS

EXHIBIT C

REPORT & MINUTES

P.C. Meeting, July 11, 2016 (7 Members Present)

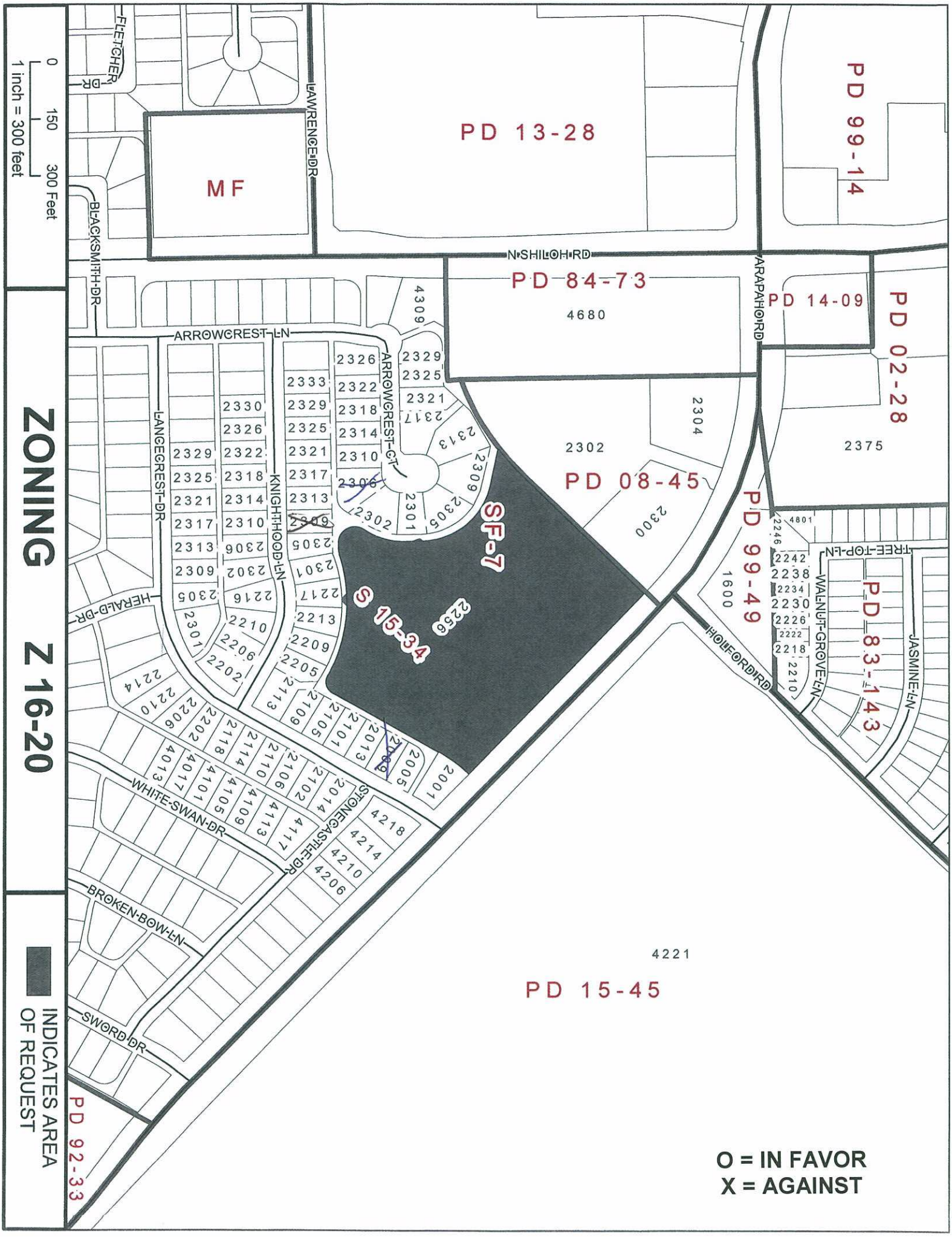
Consideration of an application of Baldwin Associates, requesting approval of a Specific Use Provision for a Charter School on a property zoned Single-Family-7 (SF-7) District. This property is located at 2256 Arapaho Road. (District 7) (File Z 16-20)

The applicant, Robert Baldwin, 3804 Elm Street, Suite #B, Dallas, TX 75226, provided a brief overview of the request.

Richard Marquez, 325 W. 12th Street, Dallas, TX 75208, provided additional information regarding the applicant's request.
Residents present and registering their position in favor of:

James Ponce, 325 W. 12th Street, Dallas, TX 75208
George Butler, 2256 Arapaho Rd., Garland, TX
Scott Lyles, 42 Park Pl., Richardson, TX 75087
David Rogers, 2256 Arapaho Rd, Garland, TX
Paul Mayer, 520 N. Glenbrook, Garland, TX 75040

Motion was made by Commissioner Fisher, seconded by Commissioner Luckie to close the Public Hearing and approve the Specific Use Provision application for a period of 5 years. **Motion carried: 7** Ayes, **0** Nays.


ZONING
Z 16-20
0 150 300 Feet
1 inch = 300 feet
INDICATES AREA OF REQUEST
O = IN FAVOR
X = AGAINST
SF-7
2256
S 15-34
PD 13-28
MF
PD 99-14
PD 84-73
4680
PD 14-09
PD 02-28
2375
PD 08-45
2302
2304
2300
PD 99-49
1600
PD 83-143
PD 15-45
4221
PD 92-33
N SHILOH RD
ARAPAHO RD
HOLFORD RD
LAWRENCE DR
BLACKSMITH DR
FLETCHER DR
ARROWCREST LN
ARROWCREST CT
LANCECREST DR
KNIGHTHOOD LN
HERALD DR
WHITE SWAN DR
STONEGATE DR
BROKEN BOW LN
SWORD DR
TREE TOP LN
WALNUT GROVE LN
JASMINE LN

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 1, 2016

HEARING DATE/TIME: Plan Commission: July 11, 2016 – 7:00 PM

APPLICANT: Baldwin Associates

File Z 16-20

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, July 11, 2016, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Baldwin Associates** requesting approval of a Specific Use Provision for a Charter School on property zoned on property zoned Single-Family-7 (SF-7) District. The property is shown on the enclosed sketch and is described as follows:

Being described as Lot 1RR, Block 1, Second Replat of Arapaho Baptist Church No. 1, an addition to the City of Garland, Texas, as recorded in Volume 96092, Page 2974 of the Plat Records of Dallas County, Texas, and containing 8.539 acres. This property is located at 2256 Arapaho Road. (District 7)

Note: The applicant proposes to operate a charter high school from the existing building.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474.** Should you have any questions, please contact Kira Wauwie at 972-205-2456.

(Please Check One Below)
____ I am in favor of the request.
__✓__ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

The church backs up to a neighborhood children park - there is no barrier to separate the structure from neighborhood.

(Please complete the following information)

Your Property Address

Printed Name

2900 Arapaho Rd. Gar 75041
Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature Title owner

Date: 7/10/16

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 1, 2016

HEARING DATE/TIME: Plan Commission: July 11, 2016 – 7:00 PM

APPLICANT: Baldwin Associates

File Z 16-20

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(Please Check One Below)
_____ I am in favor of the request.
__X__ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.
Too much congestion in this area, we already have several schools, day cares and other non residental establishments.

(Please complete the following information)

Your Property Address
2009 Lancecrest Dr. Garland 75044

Printed Name
Rick Allford 2009 Lancecrest Dr Garland TX 75044
Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature Rick Allford Title Owner

Date: 7-6-16

JUL 8 2016 P 2:01

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 1, 2016

HEARING DATE/TIME: Plan Commission: July 11, 2016 – 7:00 PM

APPLICANT: Baldwin Associates

File Z 16-20

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(Please Check One Below)
___ I am in favor of the request.
__X__ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

NO! We are content with they ways things currently are. Please our family enjoys the area. Thank you.

(Please complete the following information)

Your Property Address 2309 Knightwood Ln

Printed Name ~~[illegible]~~ TRUNG PHUNG Garland, TX 75044

Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature Home Owner

Title

Date: 7/6/16

JUL 12 2016 2:17

GARLAND
PLANNING REPORT

City Council Regular Session Agenda **Agenda Item 7. c.**

Meeting Date: August 2, 2016
Item Title: Z 16-16 Jacobs Engineering Group Inc.
Submitted By: Will Guerin, Planning Director

REQUEST

Approval of 1) an amended Concept Plan for Dwelling, Single-Family Detached; Dwelling, Multi-Family; Elder Care-Independent Living and Restaurant and 2) a Detail Plan for Dwelling, Single-Family Detached on a property zoned Planned Development (PD) District 15-45 for Single-Family-5 (SF-5) Uses, Multi-Family Uses and Limited Community Office Uses.

OWNER

Althec Partnership, Ltd.

PLAN COMMISSION RECOMMENDATION

On July 11, 2016 the Plan Commission, by a vote of six (6) to zero (0), recommended approval of a 1) an amended Concept Plan for Dwelling, Single-Family Detached; Dwelling, Multi-Family; Elder Care-Independent Living and Restaurant and 2) a Detail Plan for Dwelling, Single-Family Detached. The Plan Commission also recommended limiting the building height to 35 feet and removing the 2-1/2 stories option from the PD Conditions.

Additionally, the Plan Commission waived the alley requirement.

STAFF RECOMMENDATION

Approval of 1) an amended Concept Plan for Dwelling, Single-Family Detached; Dwelling, Multi-Family; Elder Care-Independent Living and Restaurant and 2) a Detail Plan for Dwelling, Single-Family Detached.

BACKGROUND

In 2015 City Council approved a zoning change from Agriculture (AG) District to Planned Development (PD) District 15-45 for Single-Family-5 Uses, Multi-Family Uses and Limited Community Office Uses along with a Concept Plan. The 141.653 acres incorporated in the Concept Plan were divided in 5 tracts with the following land uses as the only permitted developments:

- Dwelling, Single-Family Detached on Tract 1
- Dwelling, Multi-Family on Tract 2 and Tract 3
- Elder Care-Independent Living on Tract 4

- Restaurant on Tract 5

The applicant has brought forward an amended Concept Plan and a Detail Plan for a portion of Tract 1 (denoted as Tract 1A).

SITE DATA

Tract 1A, encompassed by the Detail Plan, is currently undeveloped and consists of approximately 58.35 acres. The site has 666 linear feet of frontage along Arapaho Road and 1,100 linear feet of frontage along Holford Road. The site will be accessed from both Arapaho Road and Holford Road. Along its northeastern boundary, the site is contiguous to the Spring Creek Forest Preserve.

USE OF PROPERTY UNDER CURRENT ZONING

Planned Development (PD) District 15-45 limits the use of Tract 1 to Dwelling, Single-Family Detached. Planned Development (PD) District 15-45 also requires approval of a Detail Plan through the public hearing process prior to the development of any of the Tracts reflected on the Concept Plan.

CONSIDERATIONS

1. The applicant seeks approval of an amended Concept Plan. The only significant amendment to the approved Concept Plan in Planned Development (PD) District 15-45 is the division of Tract 1 into Tracts 1A and 1B; see Exhibit C (Amended Concept Plan) and Exhibit G (Approved Concept Plan). On the amended Concept Plan Tract 1B is identified as future development requiring approval of a Detail Plan prior to development; however, presently a Detail Plan is not being proposed.

   Furthermore, the applicant requests approval of a Detail Plan to develop Tract 1A with 191 residential lots and 7 Homeowners Association lots. The development of Tract 1A will occur in two phases. In phase one 86 residential lots, 2 HOA lots and 2 partial HOA lots will be developed, leaving 105 residential lots and the remaining HOA lots, and remaining partial HOA lots to be developed during phase two.

2. Below is a comparison table reflecting the zoning regulations in the Single-Family-5 (SF-5) and Single-Family-7 (SF-7) Districts as well as the Planned Development (PD) conditions proposed by the applicant:

	SF-5	SF-7	Proposal
Min. Lot Area	5,000 sf/4,750 sf avg.	7,000 sf/6,650 sf avg.	5,000 sf. A minimum of 75% of the total lots will be 5,500 sf or greater. At least 50 of the lots will be at least 7,000 sf.
Min. Front Setback	20’/15’ curvil. or staggered or cul-de-sac	20’/15’ curvil. or staggered or cul-de-sac	20’/15’ curvil. or staggered or cul-de-sac

Min. Side Setback Adjacent to Street	15'	15'	15'
Min. Side Setback	20'/15' curvil. or staggered or cul-de-sac	25'/20' curvil. or staggered or cul-de-sac	15'
Min. Rear Setback	5' each side	6' each side	5'
Min. Dwelling Unit Area	1,500 sf	1,500 sf	1,700 sf
Min. Lot Width	55' internal lots/60' corner lots	60' internal lots and corner lots	50' internal lots/60' corner lots/45' for cul-de-sac and eyebrow lots
Min. Lot Depth	90'	100'	90'
Max. Lot Coverage	50%	45%	60%
Max. Height	35'	35'	35' or 2.5 stories

3. The proposed Dwelling, Single-Family Detached development in Tract 1 will comply with the applicable Screening and Landscape Standards in the Garland Development Code including the required perimeter screening between residential development and thoroughfares which the applicant intends to meet with the placement of a perimeter brick or stone masonry wall and large canopy trees (along the outside of the wall) contained within an eight-foot wide landscape buffer dedicated to the Homeowners Association.

4. Given its adjacency to the Spring Creek Forest Preserve, it is of great importance that each tract reflected on the Concept Plan follows one master trail system plan. Each tract will incorporate its corresponding portion of the trail system as the tract develops. The applicant has brought forward a master trail system plan that interconnects all the five tracts and links the trail system to the City's trail system at North Garland Road. A 6-foot wide sidewalk that is to be constructed in phase 2 of Tract 1A will connect the trail to Holford Road and the trail will be extended to Arapaho Road with the development of Tract 2 and Tract 3. The Detail Plan of each tract should depict how it will generally conform to the master trail system plan. It has been indicated by the applicant that the trail system will be accessible to the general public.

   To promote walkability within the Dwelling, Single-Family Detached development on Tract 1, staff suggests connecting that portion of the trail system on Tract 1 to Arapaho Road with a 6-foot wide sidewalk along Street A and/or a 6-foot wide trail contained within the HOA lot that parallels Street A.

5. Access to the proposed Dwelling, Single-Family Detached development would be from two entrances, one from Arapaho Road (to be constructed with phase 1) and one from

Holford Road (to be constructed with phase 2). The residential lots within the development would front a 50-foot right-of-way with access to each lot limited to the front.

The applicant proposes the integration of architectural features to front entry garage elevations to minimize the negative visual impact typically generated by poorly articulated garage elevations. The applicant has agreed and has added a condition requiring the incorporation of at least 4 architectural elements from an approved list onto the front entry garage elevations.

To further mitigate the visual impact of the street-facing garages and increase the quality of the residential development, Section 4.84(C)(2) prescribes the following standards unless, unless otherwise approved as a Planned Development (PD) zoning:

i. Rear entry;
ii. "J" drives, for front entry properties;
iii. "Swing" drives, for side entry properties; or
iv. Offset front entry with the garage door set back at least five feet behind the front building face.

The applicant proposes a condition foregoing the above standards. Staff recognizes the aesthetic value a well-articulated building elevation provides to a development and suggests designing the façade of the street-facing garages so it is recessed five feet behind the front building face as prescribed by the GDC. The applicant has proposed a condition not to allow the garage door to protrude forward beyond the main façade of each house.

COMPREHENSIVE PLAN

The Envision Garland Plan designates the subject property as Compact Neighborhoods. Compact Neighborhoods provide areas for moderate increases in residential density, including single-family attached and single-family detached housing. It expands housing options through infill and redevelopment, while continuing walkable development patterns. The Compact Neighborhood development type is primarily characterized as moderate residential (between six and twelve dwelling units per acre).

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the northwest, west and southwest are mostly zoned Single-Family (SF) District and developed with single family dwelling units with a few pockets developed with multi-family complexes and non-residential uses. The property to the north and immediately to the east is zoned Agriculture (AG) District and is part of the Spring Creek Park/Forest Preserve. With the exception of the multi-family complex located on the west corner of North Garland Avenue and Naaman Forest Boulevard, the properties further east and along North Garland Avenue are zoned for Community Retail Uses and are developed with restaurants, personal services and retail. The properties to the southeast are zoned Agriculture (AG) and are developed with W. Cecil Winters Park, Webb Middle School, Spring Creek Elementary School

and Hawaiian Falls.

The proposed Dwelling, Single-Family Detached development continues the single family residential development pattern that has been established to the west of the subject property. It will establish the largest segment of a trail system that once fully developed with the subsequent development of Tracts 2, 3, 4, and 5 will provide the residents of these developments as well as the residents from the surrounding neighborhoods a valuable leisure feature that will link them to the Spring Creek Forest Preserve.

Attachments

Z 16-16 Jacobs Engineering Group Inc. Attachments

Z 16-16 Jacobs Engineering Group Inc. Replies

Z 16-16 Jacobs Engineering Group Inc. Applicant Presentation

---

0 350 700 Feet

1 inch = 700 feet

ZONING Z 16-16

INDICATES AREA OF REQUEST

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 16-16

I. Statement of Purpose: The purpose of this Planned Development is to approve an amended Concept Plan and a Detail Plan for Dwelling, Single-Family Detached.

II. Statement of Effect: This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.

III. General Regulations: All regulations of the Single-Family-5 (SF-5) District, Multi-Family (MF) District and Community Office (CO) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Development Plans:

Concept Plan: Development shall be in general conformance with the Concept Plan set forth in Exhibit C; however, in the event of conflict between the Concept Plan and the written conditions, the written conditions shall apply.

Detail Plan: Development on Tract 1A shall conform with the Detail Plan set forth in Exhibit D; however, in the event of conflict between the Detail Plan and the written conditions, the written conditions shall apply. Approval of a Detail Plan is required prior to any development on any of the tracts reflected on the Concept Plan.

V. Specific Regulations to the Concept Plan:

A. Permitted Uses: All uses are prohibited except as follows:

- Dwelling, Single-Family Detached on Tract 1A and 1B
- Dwelling, Multi-Family on Tract 2 and Tract 3
- Elder Care-Independent Living on Tract 4
- Restaurant on Tract 5

EXHIBIT B

VI. Specific Regulations To Tract 1A:

A. Minimum Lot Area: The minimum lot area is 5,000 square feet. A minimum of 75% of the total lots will be 5,500 square feet or greater.

At least 27 residential lots with a minimum area of 7,000 square feet shall be provided in Phase 1 of the development of Tract 1A and at least 23 residential lots with a minimum area of 7,000 square feet shall be provided in Phase 2 of the development of Tract 1A.

B. Minimum Dwelling Unit Size: The minimum dwelling unit size shall be 1,700 square feet.

C. Minimum Lot Width: 50 feet for internal lots, 60 feet for corner lots and 45 feet for cul-de-sac and eyebrow lots.

D. Minimum Lot Depth: The minimum lot depth shall be 90 feet.

E. Minimum Front Yard Setback: The minimum front yard setback shall be 20 feet or reduced to 15 feet as allowed by Sections 2.34(E)(1)(a),(b) and (c) of the Garland Development Code.

F. Minimum Interior Rear Yard Setback: The minimum rear yard setback shall be 10 feet.

G. Minimum Rear Yard Setback Adjacent to a Street: The minimum rear yard setback adjacent to a street shall be 15 feet.

H. Minimum Interior Side Yard Setback: The minimum side yard setback shall be 5 feet.

I. Minimum Side Yard Setback Adjacent to a Street: The minimum side yard setback shall be 15 feet.

J. Lot Coverage: The maximum lot coverage shall be 60%.

K. Maximum Building Height: The building height shall not exceed 35 feet.

L. Garages: A minimum 2-car garage shall be provided for each house. Front facing garages shall be allowed. Garages shall not be required to conform

with any of the following standards:

i. Rear entry;
ii. "J" drives, for front entry properties;
iii. "Swing" drives, for side entry properties; or
iv. The face of the garage door shall not be required to be offset behind the front building line.

However, the garage door may not protrude forward of the main façade of the house and the garage door must be at least 20 feet from the street right-of-way. Each garage shall incorporate at least four of the following architectural elements:

- windows/openings on garage doors
- sconce lighting
- wood veneer
- carriage garage door appearance
- decorative overhangs above garage doors
- columns flanking garage doors
- decorative banding or moldings
- detailed garage door designs with decorative brackets
- garage arches
- eyebrow soldier course over garage doors
- decorative vent covers on gable above garage
- two-car garage with split single doors.

M. Alleys: Alleys shall be waived for the residential development.

N. Screening Features: The Dwelling, Single-Family Detached development shall be screened from Arapaho Road and Holford Road with a masonry wall with a minimum height of 6 feet and a maximum height of 8 feet. The wall must be constructed of brick or stone, in accordance with the City's Technical Standards, or a simulated product with the appearance of hand-laid brick or stone with the same structural integrity of the City's standard screening wall details. In addition to the screening wall, one large canopy tree for every 50 linear feet, or portion thereof, is required and must be equally spaced for the entire length of the wall; these trees must be placed on the street side of the

screening wall. The trees and screening wall shall be located within a minimum eight-foot wide landscape buffer, dedicated to a required Homeowners Association for maintenance, on the street side of the screening wall.

Side and rear yard residential fences adjacent to floodplain shall be a minimum 5-foot tall ornamental metal fence.

O. Homeowners Association*:* A homeowners association shall be incorporated and each lot/homeowner shall be a mandatory member. The bylaws of the association shall establish a system of payment of dues; a system of enforcement of its rules and regulations; shall establish a clear and distinct definition of the responsibility of each member; and other provisions as deemed appropriate to secure a sound and stable association. The Bylaws for this association shall be submitted to the Director of Planning for review and approval prior to commencement of construction of any infrastructure improvements within the subdivision.

Maintenance of open/common spaces or areas, landscape buffers, irrigation, easements, entry features, perimeter screening, trail and other amenities shall be the responsibility of the homeowners association.

P. Street Design Specifications*:* 50-foot right-of-way shall have a pavement width of 30 feet measured face to face. All streets within the subdivision will be public streets. The entrance along Arapaho Road shall have a right-of-way of at least 75 feet and the entrance along Holford Road shall have a right-of-way of at least 60 feet.

Q. Sidewalk: A 6-foot wide sidewalk along the streets identified as Street F and Street H on the Detail Plan shall connect the required 6-foot wide trail to Holford Road.

R. Screening and Landscaping: Screening and Landscaping shall be in general conformance with the Landscape Plan set forth in Exhibit E.

S. Trail: The required 6-foot wide trail on Tract 1A shall be in general conformance with the Trail

Master Plan set forth in Exhibit F.

EXHIBIT B

Exhibit C

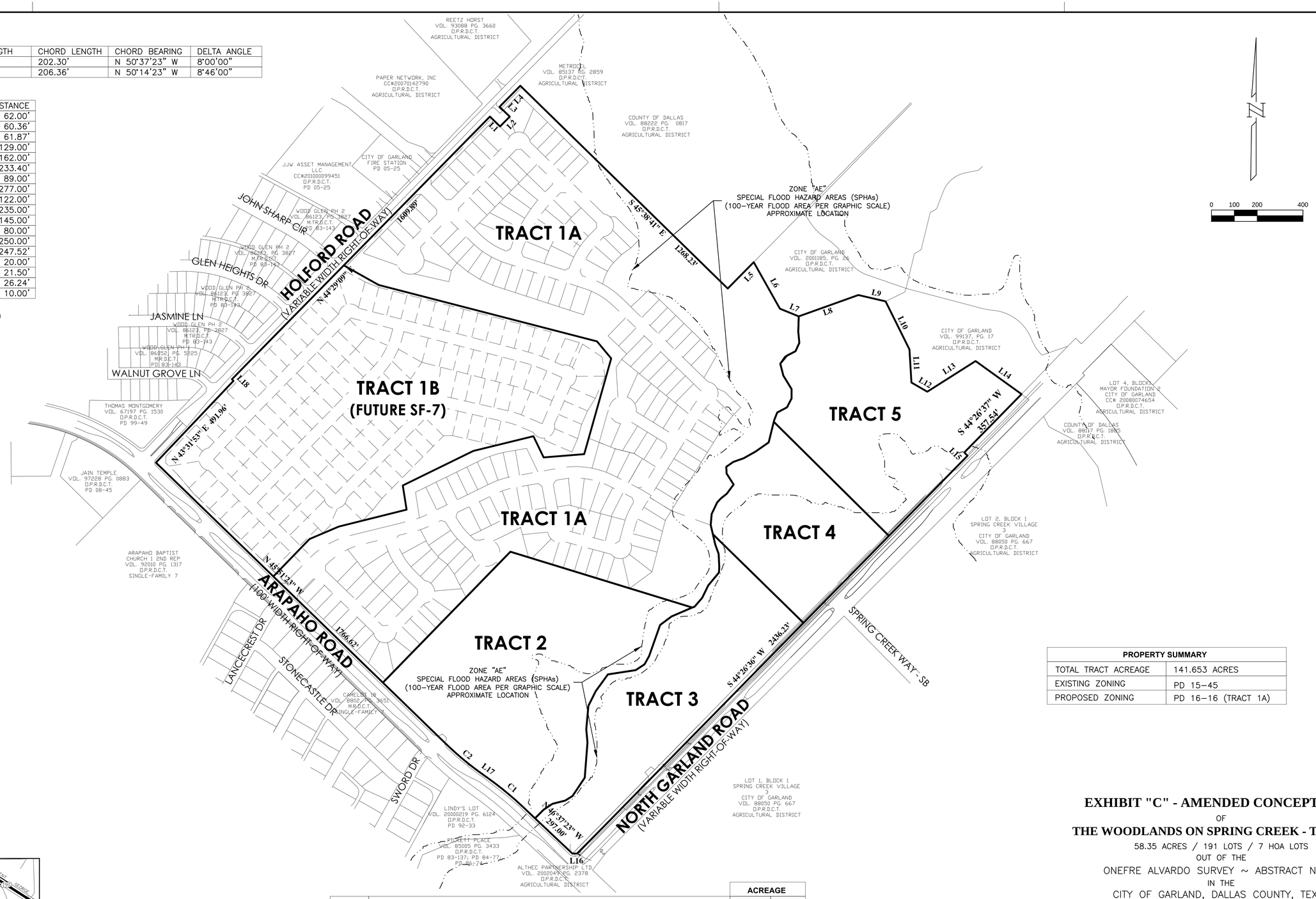
THE WOODLANDS ON SPRING CREEK

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1450.00'	202.46'	202.30'	N 50°37'23" W	8°00'00"
C2	1350.00'	206.56'	206.36'	N 50°14'23" W	8°46'00"

LINE	BEARING	DISTANCE
L1	S 45°30'51" E	62.00'
L2	N 44°21'26" E	60.36'
L3	N 45°50'47" W	61.87'
L4	N 44°29'09" E	129.00'
L5	N 44°33'16" E	162.00'
L6	S 29°16'11" E	233.40'
L7	S 67°54'11" E	89.00'
L8	N 70°17'49" E	277.00'
L9	S 76°54'11" E	122.00'
L10	S 26°24'11" E	235.00'
L11	S 03°24'11" E	145.00'
L12	S 60°04'11" E	80.00'
L13	N 57°35'49" E	250.00'
L14	S 54°18'11" E	247.52'
L15	S 45°33'24" E	20.00'
L16	S 89°29'41" W	21.50'
L17	N 54°37'23" W	26.24'
L18	N 45°30'51" W	10.00'

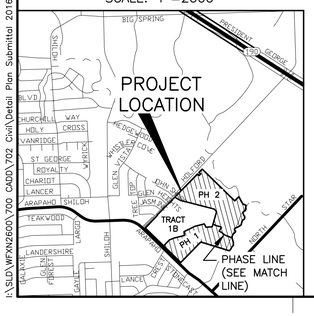
BASIS OF BEARING:

TEXAS NORTH CENTRAL ZONE 4202 AS OBSERVED WITH GPS RTK AND TIED INTO GEO SHACK NETWORK.



PROPERTY SUMMARY	
TOTAL TRACT ACREAGE	141.653 ACRES
EXISTING ZONING	PD 15-45
PROPOSED ZONING	PD 16-16 (TRACT 1A)

VICINITY MAP
SCALE: 1"=2000'



TRACT	LAND USE PROPOSED - PLANNED DEVELOPMENT ZONING	ACREAGE GROSS	ACREAGE NET*
1A	SINGLE-FAMILY RESIDENTIAL	58.354	49.548
1B	SINGLE-FAMILY RESIDENTIAL	31.852	0.000
2	MULTI-FAMILY RESIDENTIAL	17.892	14.451
3	MULTI-FAMILY RESIDENTIAL	11.905	10.566
4	MULTI-FAMILY RESIDENTIAL FOR ACTIVE ADULT, INDEPENDENT LIVING	8.129	5.561
5	COMMUNITY RETAIL	13.521	1.650
	TOTAL	141.653	

* NET ACREAGE = REMOVAL OF FLOODWAY AND 100 YEAR FLOOD PLAIN
FLOOD DATA SOURCE: FEMA FIRM PANEL: 48113C0201OL DATE: 07-07-2014

EXHIBIT "C" - AMENDED CONCEPT PLAN

OF

THE WOODLANDS ON SPRING CREEK - TRACT 1A

58.35 ACRES / 191 LOTS / 7 HOA LOTS
OUT OF THE
ONEFRE ALVARDO SURVEY ~ ABSTRACT NO. 2
IN THE
CITY OF GARLAND, DALLAS COUNTY, TEXAS

DEVELOPER:
THE WOODLANDS ON SPRING CREEK, LP
14114 NORTH DALLAS PARKWAY,
SUITE 265
DALLAS, TEXAS 75254
CONTACT: MICHAEL HOLIGAN
214-597-3569

OWNER:
ALTHEC PROPERTIES, LTD.
914 SOUTH GARLAND AVENUE
GARLAND, TEXAS 75040
CONTACT: THOMAS CHAMBERS
214-676-4635

SURVEYOR:
DATA LAND SERVICES
REGISTERED PROFESSIONAL LAND SURVEYING
P.O. BOX 2110
FORNEY, TEXAS 75126
CONTACT: WILLIAM DAVIS FINNEY, R.P.L.S.

ENGINEER:
JACOBS
1999 BRYAN STREET, SUITE 1200
DALLAS, TX 75201-3136
PHONE 214-638-0145
FAX 214-638-0447
CONTACT: JAISON STEPHEN, P.E.
Jacobs Engineering Group Inc.
Texas Registration F-2966
Jaison.Stephen@jacobs.com

CASE NO. 160310-2

JUNE 30, 2016 SCALE: 1" = 200' SHEET 1 OF 1

PROJECT NO WFXN2600

I:\SLD\WFXN2600\700 CADD\702 Civil\Detail Plan Submittal 2016\2600LPACP.dwg, 6/30/2016 12:25 PM, Washburn, Sam L.

Exhibit D

PHASE 1															
BLOCK A		BLOCK A		BLOCK A		BLOCK A		BLOCK D		BLOCK E		BLOCK F		HOA LOTS	
LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA
1	5500	14	5716	27	11961	40	5498	1	7320	1	7147	1	6492	X1P1	9993
2	5500	15	9127	28	12115	41	5672	2	5500	2	6160	2	5500	X2P1	3862
3	5500	16	8595	29	7466	42	5759	3	5500	3	6160	3	5500	X3P1	89747
4	5500	17	5965	30	5802	43	5846	4	5500	4	6365	4	5500	X6P1	95902
5	5500	18	6248	31	5802	44	5845	5	5500	5	6774	5	7536		
6	5500	19	6746	32	6201	45	7926	6	5500	6	10397	6	7483		
7	5500	20	7937	33	6234	46	9458	7	6914	7	11851	7	7022		
8	6009	21	7427	34	5507	47	7419	8	5987	8	7922	8	7280		
9	10767	22	6337	35	6490	48	6055	9	5679	9	6601	9	6901		
10	7840	23	5923	36	6341	49	6764	10	7260	10	6205	10	5986		
11	6026	24	5730	37	6315	50	6137	11	7894	11	7148	11	6343		
12	5509	25	5793	38	8459	51	5500	12	6784						
13	5513	26	9035	39	6819			13	7158						

MATCH LINE – SHEET 2

THE WOODLANDS ON SPRING CREEK

WOOD GLEN PH 2
VOL. 86123, PG 3827
M.TR.D.C.T.
ZONED: PD 83-143

GLEN HEIGHTS DRIVE

JASMINE LANE

WALNUT GROVE LANE

HOLFORD ROAD (BY OTHERS)
EX VARIABLE WIDTH ROW

WOOD GLEN PH 1
VOL. 86052, PG. 5225
M.R.D.C.T.
ZONED: PD 83-143

RIGHT-OF-WAY TO
THE CITY OF GARLAND
VOLUME 87056, PG.
1285 D.R.D.C.T.

EX ASPH PVMT

EX MEDIAN

EX 82' ROW

THOMAS MONTGOMERY
VOL. 67197 PG. 1530
O.P.R.D.C.T.
ZONED: PD 99-49

JAIN TEMPLE
VOL. 97228 PG. 0883
O.P.R.D.C.T.
ZONED: PD-(CO)

ARAPAHO BAPTIST CHURCH 1 2ND REP
VOL. 92010 PG. 1317 O.P.R.D.C.T.
ZONED: S 13-27

THE WOODLANDS ON SPRING CREEK
TRACT 1B
ZONED PD 15–45

PHASE 1

PHASE 2

STREET A
STREET B
STREET C
STREET D
STREET E
STREET F

X3 HOA LOT
X6 HOA LOT
X1 HOA LOT
HOA LOT

BLOCK A
BLOCK B
BLOCK C
BLOCK D
BLOCK E

N85°22'15"E
177.92'

N76°16'39"E
270.29'

N63°52'56"E
343.26'

N8°48'34"W
107.05'

N75°59'39"E
305.16'

N67°00'12"E
138.85'

N44°00'25"E
228.15'

N45°51'23"W – 666.93'

S44°13'46"W
799.04'

N 72°55'46" W – 831.56'

S 03°11'06" W – 24.03'
S 39°48'49" W
72.87'
S 26°00'26" W
60.80'
S 40°46'14" W
51.04'
S 70°07'15" W
10.51'

6' TRAIL

DRAINAGE EASEMENT

STREAM

ULTIMATE 100 YEAR FLOODPLAIN LINE

FEMA FLOODWAY

FEMA AREA "AE" FLOOD HAZARD AREA

EX 20' SEWER ESMT
VOL 77026, PG 1415
D.R.D.C.T.

THE WOODLANDS ON SPRING CREEK
TRACT 2
(NORTHSIDE AT THE WOODLANDS)
ZONED PD 15–45

THE WOODLANDS ON
SPRING CREEK
TRACT 3
ZONED PD 15–45

214

LEFT TURN LANE

ARAPAHO ROAD

EX CONC PVMT

EX MEDIAN

EX 100' ROW

100' TRANS

100' STORAGE

8'LANDSCAPE BUFFER

EX 12"WTR

15'x15' CORNER CLIP

EX 50' ROW

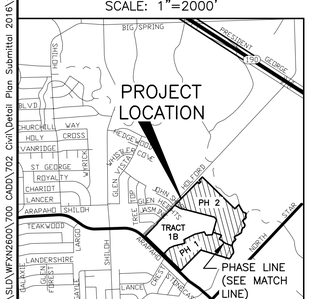
LANCECREST DRIVE

SWORD DRIVE

CAMELOT 18
VOL. 8802, PG. 3651
M.R.D.C.T.
ZONED: SF-7

0 50 100 200

VICINITY MAP
SCALE: 1"=2000'



LEGEND

✶ L/STD	LIGHT POLE STANDARD (TO BE LOCATED IN PUE)
☆ LP	EX LIGHT POLE
○ PP	EX POWER POLE
ESMT	EASEMENT
PUE	PUBLIC UTILTY EASEMENT
VE	VISIBILITY EASEMENT (SIGHT LINE TRIANGLE)
ROW	RIGHT-OF-WAY
MIN FF	MINIMUM FINISH FLOOR ELEVATION
BL	BUILDING LINE SETBACK
DRNG ESMT	DRAINAGE EASEMENT
UTIL ESMT	UTILITY EASEMENT
	PROPOSED FEMA MAP REVISION
	EROSION HAZARD AREA

PD ZONING REQUIREMENTS (TYPICAL)

FRONT YARD SETBACK	.....20 FEET
SIDE YARD SETBACK	.....5 FEET
EXCEPT ADJACENT TO SIDE STREET	.....15 FEET
REAR YARD SETBACK	.....10 FEET
EXCEPT ADJACENT TO SIDE STREET	.....15 FEET

BENCHMARKS:

GPS 112 2" BRASS DISK STAMPED 112, LOCATED ON INLET TOP @ N CORNER OF INTERSECTION OF HOLFORD RD & ARAPAHO RD APPROX 86' NW OF HOLFORD RD ℄ & APPROX 17' NE OF ARAPAHO RD WEST BOUND ℄.
ELEVATION = 564.78

GPS 115 2" BRASS DISK STAMPED 115 IS LOCATED ON INLET TOP @ INTERSECTION OF N GARLAND AVE & NAAMAN FOREST BLVD APPROX 44' SE OF N GARLAND AVE ℄ AND APPROX 71' NE OF NAAMAN FOREST BLVD ℄ OF N-BOUND LANE.
ELEVATION = 543.36

EXHIBIT "D" - DETAIL PLAN
PHASE 1 - 86 LOTS
OF
THE WOODLANDS ON SPRING CREEK - TRACT 1A
58.35 ACRES / 191 LOTS / 7 HOA LOTS
OUT OF THE
ONEFRE ALVARDO SURVEY ~ ABSTRACT NO. 2
IN THE
CITY OF GARLAND, DALLAS COUNTY, TEXAS

DEVELOPER:
THE WOODLANDS ON SPRING CREEK, LP
14114 NORTH DALLAS PARKWAY,
SUITE 265
DALLAS, TEXAS 75254
CONTACT: MICHAEL HOLIGAN
214–597–3569

CASE NO. 160310–2
PROPOSED ZONING PD 16–16

OWNER:
ALTHEC PROPERTIES, LTD.
914 SOUTH GARLAND AVENUE
GARLAND, TEXAS 75040
CONTACT: THOMAS CHAMBERS
214–676–4635

SURVEYOR:
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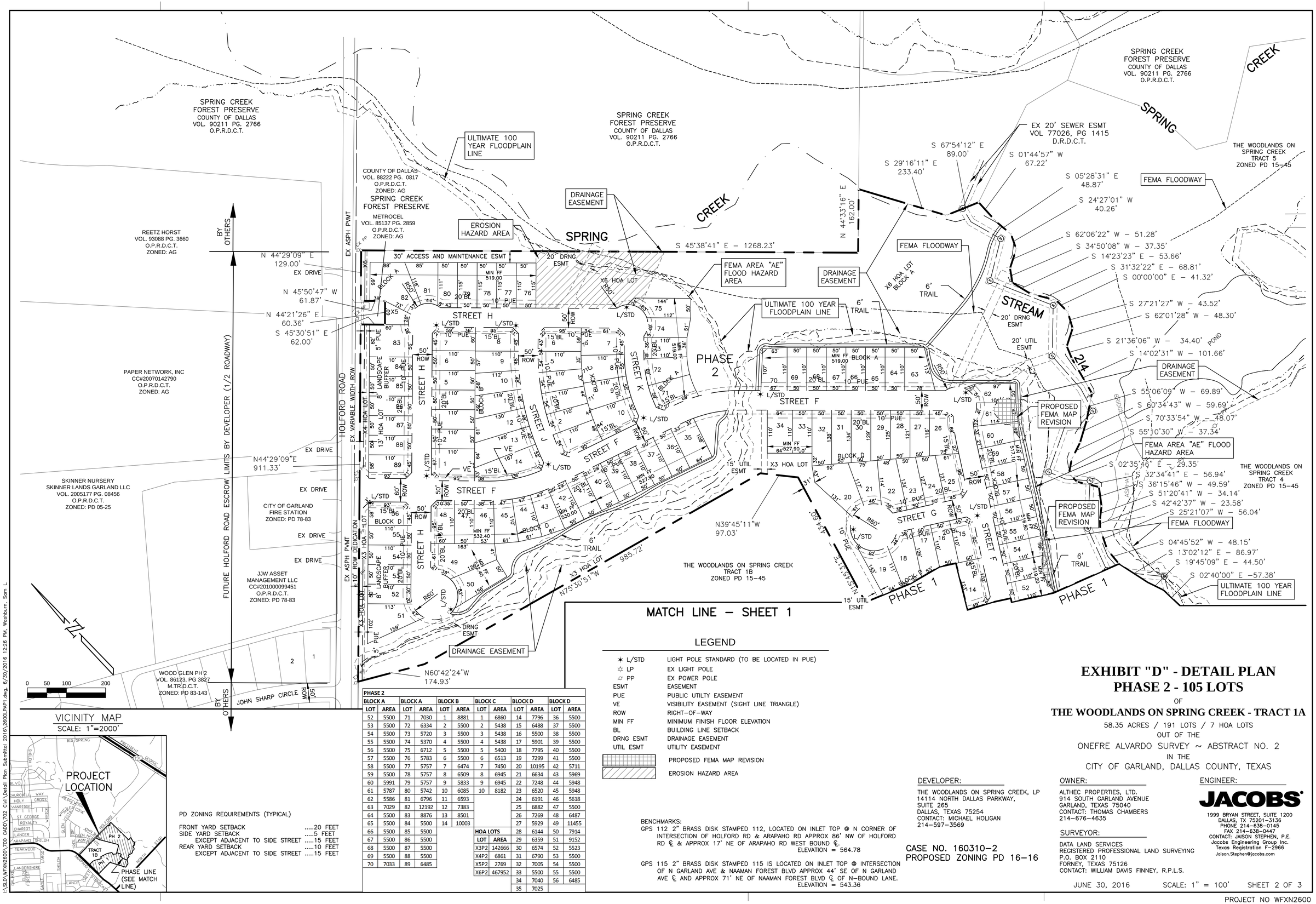
Jaison.Stephen@jacobs.com

JUNE 30, 2016 SCALE: 1" = 100' SHEET 1 OF 3

PROJECT NO WFXN2600

I:\SLD\WFXN2600\700 CADD\702 Civil\Detail Plan Submittal 2016\2600LPAP1.dwg, 6/30/2016 2:12 PM, Washburn, Sam L.

Exhibit D



VICINITY MAP

SCALE: 1"=2000'

LEGEND

✶ L/STD	LIGHT POLE STANDARD (TO BE LOCATED IN PUE)
☼ LP	EX LIGHT POLE
▱ PP	EX POWER POLE
ESMT	EASEMENT
PUE	PUBLIC UTILITY EASEMENT
VE	VISIBILITY EASEMENT (SIGHT LINE TRIANGLE)
ROW	RIGHT-OF-WAY
MIN FF	MINIMUM FINISH FLOOR ELEVATION
BL	BUILDING LINE SETBACK
DRNG ESMT	DRAINAGE EASEMENT
UTIL ESMT	UTILITY EASEMENT
	PROPOSED FEMA MAP REVISION
	EROSION HAZARD AREA

PD ZONING REQUIREMENTS (TYPICAL)

FRONT YARD SETBACK	.....20 FEET
SIDE YARD SETBACK	.....5 FEET
EXCEPT ADJACENT TO SIDE STREET	.....15 FEET
REAR YARD SETBACK	.....10 FEET
EXCEPT ADJACENT TO SIDE STREET	.....15 FEET

PHASE 2

BLOCK A		BLOCK A		BLOCK B		BLOCK C		BLOCK D		BLOCK D	
LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA
52	5500	71	7030	1	8881	1	6860	14	7796	36	5500
53	5500	72	6334	2	5500	2	5438	15	6488	37	5500
54	5500	73	5720	3	5500	3	5438	16	5500	38	5500
55	5500	74	5370	4	5500	4	5438	17	5901	39	5500
56	5500	75	6712	5	5500	5	5400	18	7795	40	5500
57	5500	76	5783	6	5500	6	6513	19	7299	41	5500
58	5500	77	5757	7	6474	7	7450	20	10195	42	5711
59	5500	78	5757	8	6509	8	6945	21	6634	43	5969
60	5991	79	5757	9	5833	9	6945	22	7248	44	5948
61	5787	80	5742	10	6085	10	8182	23	6520	45	5948
62	5586	81	6796	11	6593			24	6191	46	5618
63	7029	82	12192	12	7383			25	6882	47	5500
64	5500	83	8876	13	8501			26	7269	48	6487
65	5500	84	5500	14	10003			27	5929	49	11455
66	5500	85	5500					28	6144	50	7914
67	5500	86	5500					29	6359	51	9152
68	5500	87	5500					30	6574	52	5523
69	5500	88	5500					31	6790	53	5500
70	7033	89	6485					32	7005	54	5500
								33	5500	55	5500
								34	7040	56	6485
								35	7025		

HOA LOTS	
LOT	AREA
X3P2	142666
X4P2	6861
X5P2	2769
X6P2	467952

BENCHMARKS:

GPS 112 2" BRASS DISK STAMPED 112, LOCATED ON INLET TOP @ N CORNER OF INTERSECTION OF HOLFORD RD & ARAPAHO RD APPROX 86' NW OF HOLFORD RD ℄ & APPROX 17' NE OF ARAPAHO RD WEST BOUND ℄.
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ELEVATION = 543.36

EXHIBIT "D" - DETAIL PLAN
PHASE 2 - 105 LOTS

OF

THE WOODLANDS ON SPRING CREEK - TRACT 1A

58.35 ACRES / 191 LOTS / 7 HOA LOTS

OUT OF THE

ONEFRE ALVARDO SURVEY ~ ABSTRACT NO. 2

IN THE

CITY OF GARLAND, DALLAS COUNTY, TEXAS

CASE NO. 160310–2
PROPOSED ZONING PD 16–16

DEVELOPER:

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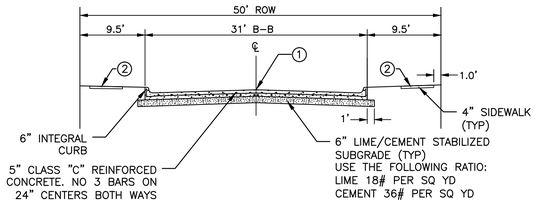
JUNE 30, 2016 SCALE: 1" = 100' SHEET 2 OF 3

PROJECT NO WFXN2600

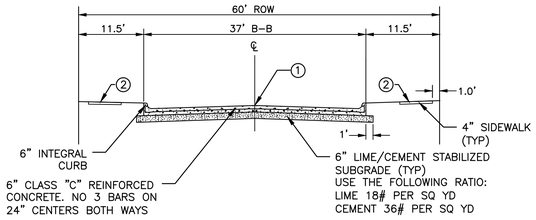
THE WOODLANDS ON SPRING CREEK

I:\SLD\WFXN2600\700 CADD\702 Civil\Detail Plan Submittal 2016\2600DLPAP1.dwg, 6/30/2016 12:26 PM, Washburn, Sam L.

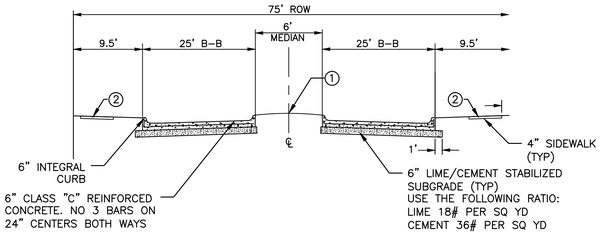
Exhibit D



TYPICAL STREET SECTION – 50' ROW
NOT TO SCALE



STREET SECTION ENTRANCE – 60' ROW
NOT TO SCALE



STREET SECTION ENTRANCE– 75' ROW
NOT TO SCALE

① INDICATES SAWED & SEALED LONGITUDINAL CONTRACTION OR CONSTRUCTION JOINT.

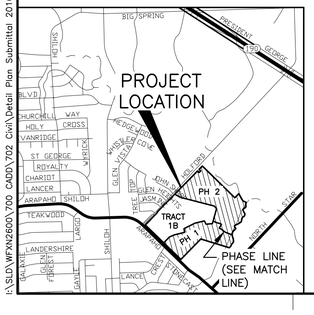
② SIDEWALK CROSS-SLOPE 1% MAX

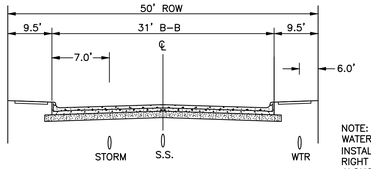
ALL REINFORCEMENT SHALL BE #3 BARS ON 24" CENTERS BOTH WAYS, EXCEPT WHERE NOTED

PAVEMENT SHALL BE CLASS "C" CONCRETE

PUBLIC RIGHT-OF-WAY, EASEMENT, AND COMMON AREAS MUST BE STABILIZED WITH PERENNIAL VEGETATION COVER, FULLY ESTABLISHED WITH 100 COVERAGE, OR OTHER APPROVED STABILIZATION METHOD

VICINITY MAP
SCALE: 1"=2000'





TYPICAL UTILITY DETAIL (50' ROW)
NOT TO SCALE

NOTE:
WATER MAINS SHALL BE INSTALLED 6' FROM THE RIGHT OF WAY TYPICALLY ALONG THE NORTH AND EAST PARKWAYS.

LEGAL DESCRIPTION

BEING ALL THAT CERTAIN TRACT OF PARCEL OF LAND AS SITUATED IN THE ONEFRE ALVARADO SURVEY, ABSTRACT NO. 2, GARLAND, DALLAS COUNTY, TEXAS, AND BEING PART OF TRACT NO.1, TRACT NO. 2 AND TRACT NO. 3 IN DEED TO ALTHEC PARTNERSHIP, LTD. AS RECORDED IN VOLUME 2002049, PAGE 2378, DEED RECORDS OF DALLAS COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS;

COMMENCING AT A 1/2" IRON ROD FOUND AT THE INTERSECTION OF ARAPHO ROAD (A 100' RIGHT-OF-WAY) AND HOLFORD ROAD (A VARIABLE WIDTH RIGHT-OF-WAY) SAID CORNER BEING AT THE NORTHWEST CORNER OF ALTHEC PARTNERSHIP TRACT;

THENCE NORTH 43 DEGREES 31 MINUTES 53 SECONDS EAST, WITH THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF HOLFORD ROAD A DISTANCE OF 491.96 FEET TO A 1/2" IRON ROD FOUND FOR A ELL CORNER OF SAID ALTHEC TRACT;

THENCE NORTH 45 DEGREES 30 MINUTES 51 SECONDS WEST, WITH THE WITH THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF HOLFORD ROAD A DISTANCE OF 10.00 FEET TO A 1/2" IRON ROD FOUND FOR ELL CORNER OF SAID TRACT AND RIGHT-OF-WAY;

THENCE NORTH 44 DEGREES 29 MINUTES 09 SECONDS EAST, WITH THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF HOLFORD ROAD AND THE NORTHEASTERLY LINE OF ALTHEC TRACTS A DISTANCE OF 698.56 FEET TO A POINT FOR CORNER FOR THE POINT OF BEGINNING;

THENCE NORTH 44 DEGREES 29 MINUTES 09 SECONDS EAST, WITH THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF HOLFORD ROAD AND THE NORTHEASTERLY LINE OF ALTHEC TRACTS A DISTANCE OF 911.33 FEET TO A 1/2" IRON ROD FOUND FOR ELL CORNER OF TRACT FROM WHICH A 5/8" IRON ROD WITH YELLOW CAP FOUND FOR THE WEST CORNER OF LOT 1, BLOCK 1 OF METROCELL ADDITION AN ADDITION TO THE CITY OF GARLAND AS RECORDED IN VOLUME 92126, PAGE 1797 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS; BEARS, SOUTH 45 DEGREES 30 MINUTES 51 SECONDS EAST A DISTANCE OF 2.0 FEET:

THENCE SOUTH 45 DEGREES 30 MINUTES 51 SECONDS EAST, WITH THE SOUTHWESTERLY LINE OF SAID LOT 1, A DISTANCE OF 62.00 FEET TO A 3" CHAIN LINK FENCE POST FOUND FOR CORNER;

THENCE NORTH 44 DEGREES 21 MINUTES 26 SECONDS EAST, WITH THE SOUTHEASTERLY LINE OF SAID LOT 1, A DISTANCE OF 60.36 FEET TO A 5/8" IRON ROD WITH YELLOW CAP FOUND FOR CORNER;

THENCE NORTH 45 DEGREES 50 MINUTES 47 SECONDS WEST, WITH THE NORTHEASTERLY LINE OF SAID LOT 1, A DISTANCE OF 61.87 FEET TO A 1/2" IRON ROD FOUND FOR CORNER AND BEING IN THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF HOLFORD ROAD;

THENCE NORTH 44 DEGREES 29 MINUTES 09 SECONDS EAST, WITH THE NORTHWESTERLY LINE OF ALTHEC TRACT A DISTANCE OF 129.00 FEET TO A WEST CORNER OF A TRACT OF LAND AS CONVEYED TO THE COUNTY OF DALLAS AS RECORDED IN VOLUME 88222, PAGE 817 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS A 1/2" IRON ROD FOUND FOR CORNER FROM WHICH A 5/8" IRON ROD FOUND BEARS N 30 DEGREES 59 MINUTES 58 SECONDS WEST, A DISTANCE OF 0.89 FEET;

THENCE SOUTH 45 DEGREES 38 MINUTES 41 SECONDS EAST, WITH THE NORTHEASTERLY LINE OF ALTHEC TRACT AND A SOUTHWESTERLY LINE OF COUNTY OF DALLAS TRACT A DISTANCE OF 1268.23 FEET TO A POINT FOR CORNER SAID CORNER BEING AT THE SOUTH CORNER OF SAID COUNTY OF DALLAS TRACT FROM WHICH A 5/8" IRON ROD FOUND FOR THE NORTH CORNER OF STONELEIGH OF SPRING CREEK, NO. 2 AN ADDITION TO THE CITY OF GARLAND IN VOLUME 2001185, PAGE 26 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS BEARS NORTH 44 DEGREES 33 MINUTES 16 SECONDS EAST, A DISTANCE OF 1810.76 FEET;

THENCE NORTH 44 DEGREES 33 MINUTES 16 SECONDS EAST, WITH A SOUTHEASTERLY LINE OF COUNTY OF DALLAS TRACT A DISTANCE OF 162.00 FEET TO A POINT FOR CORNER IN THE MIDDLE OF CREEK SAID CORNER BEING AT A SOUTHWESTERLY CORNER OF CALLED 3.443 ACRES DEDICATED TO THE CITY OF GARLAND FOR PARK, DRAINAGE AND UTILITY PURPOSES PER SAID STONELEIGH ON SPRING CREEK, NO.2 ADDITION;

THENCE THE FOLLOWING 2 CALLS WITH THE MIDDLE OF SAID CREEK AND WITH THE NORTHEASTERLY LINE OF ALTHEC TRACT AND THE SOUTHWESTERLY LINE OF STONELEIGH ON SPRING CREEK NO. 2 ADDITION;

1. SOUTH 29 DEGREES 16 MINUTES 11 SECONDS EAST, A DISTANCE OF 233.40 FEET;
2. SOUTH 67 DEGREES 54 MINUTES 11 SECONDS EAST, A DISTANCE OF 89.00 FEET;

THENCE ACROSS ALTHEC PARTNERSHIP TRACT AND NEAR THE CENTER LINE OF CREEK THE FOLLOWING 31 CALLS TO A POINT FOR CORNER;

1. SOUTH 01 DEGREES 44 MINUTES 57 SECONDS WEST, A DISTANCE OF 67.22 FEET;
2. SOUTH 05 DEGREES 28 MINUTES 31 SECONDS EAST, A DISTANCE OF 48.87 FEET;
3. SOUTH 24 DEGREES 27 MINUTES 01 SECONDS WEST, A DISTANCE OF 40.26 FEET;
4. SOUTH 62 DEGREES 06 MINUTES 22 SECONDS WEST, A DISTANCE OF 51.28 FEET;
5. SOUTH 34 DEGREES 50 MINUTES 08 SECONDS WEST, A DISTANCE OF 37.35 FEET;
6. SOUTH 14 DEGREES 23 MINUTES 23 SECONDS EAST, A DISTANCE OF 53.66 FEET;
7. SOUTH 31 DEGREES 32 MINUTES 22 SECONDS EAST, A DISTANCE OF 68.81 FEET;
8. SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 41.32 FEET;
9. SOUTH 27 DEGREES 21 MINUTES 27 SECONDS WEST, A DISTANCE OF 43.52 FEET;
10. SOUTH 62 DEGREES 01 MINUTES 28 SECONDS WEST, A DISTANCE OF 48.30 FEET;
11. SOUTH 21 DEGREES 36 MINUTES 06 SECONDS WEST, A DISTANCE OF 34.40 FEET;
12. SOUTH 14 DEGREES 02 MINUTES 31 SECONDS WEST, A DISTANCE OF 101.66 FEET;
13. SOUTH 55 DEGREES 06 MINUTES 09 SECONDS WEST, A DISTANCE OF 69.89 FEET;
14. SOUTH 60 DEGREES 34 MINUTES 43 SECONDS WEST, A DISTANCE OF 59.69 FEET;
15. SOUTH 70 DEGREES 33 MINUTES 54 SECONDS WEST, A DISTANCE OF 48.07 FEET;
16. SOUTH 55 DEGREES 10 MINUTES 30 SECONDS WEST, A DISTANCE OF 37.34 FEET;
17. SOUTH 02 DEGREES 35 MINUTES 46 SECONDS EAST, A DISTANCE OF 29.35 FEET;
18. SOUTH 32 DEGREES 34 MINUTES 41 SECONDS EAST, A DISTANCE OF 56.94 FEET;
19. SOUTH 36 DEGREES 15 MINUTES 46 SECONDS WEST, A DISTANCE OF 49.59 FEET;
20. SOUTH 51 DEGREES 20 MINUTES 41 SECONDS WEST, A DISTANCE OF 34.14 FEET;
21. SOUTH 42 DEGREES 42 MINUTES 37 SECONDS WEST, A DISTANCE OF 23.58 FEET;
22. SOUTH 25 DEGREES 21 MINUTES 07 SECONDS WEST, A DISTANCE OF 56.04 FEET;
23. SOUTH 04 DEGREES 45 MINUTES 52 SECONDS WEST, A DISTANCE OF 48.15 FEET;
24. SOUTH 13 DEGREES 02 MINUTES 12 SECONDS EAST, A DISTANCE OF 86.97 FEET;
25. SOUTH 19 DEGREES 45 MINUTES 09 SECONDS EAST, A DISTANCE OF 44.50 FEET;
26. SOUTH 02 DEGREES 40 MINUTES 00 SECONDS EAST, A DISTANCE OF 57.38 FEET;
27. SOUTH 03 DEGREES 11 MINUTES 06 SECONDS WEST, A DISTANCE OF 24.03 FEET;
28. SOUTH 39 DEGREES 48 MINUTES 49 SECONDS WEST, A DISTANCE OF 72.87 FEET;
29. SOUTH 26 DEGREES 00 MINUTES 26 SECONDS WEST, A DISTANCE OF 60.80 FEET;
30. SOUTH 40 DEGREES 46 MINUTES 14 SECONDS WEST, A DISTANCE OF 51.04 FEET;
31. SOUTH 70 DEGREES 07 MINUTES 15 SECONDS WEST, A DISTANCE OF 10.51 FEET;

THENCE NORTH 72 DEGREES 55 MINUTES 46 WEST, ACROSS ALTHEC PARTNERSHIP TRACT A DISTANCE OF 831.58 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

THENCE SOUTH 44 DEGREES 13 MINUTES 46 WEST, ACROSS ALTHEC PARTNERSHIP TRACT A DISTANCE OF 799.04 FEET TO A 1/2" IRON ROD FOUND FOR CORNER SAID CORNER BEING IN THE NORTHEASTERLY RIGHT-OF-WAY LINE OF ARAPHO ROAD;

THENCE NORTH 45 DEGREES 51 MINUTES 23 SECONDS WEST, WITH THE SAID RIGHT-OF-WAY OF ARAPHO ROAD A DISTANCE OF 666.93 FEET TO A POINT FOR CORNER;

THENCE ACROSS ALTHEC PARTNERSHIP TRACT THE FOLLOWING 12 CALLS TO A POINT FOR CORNER;

1. NORTH 44 DEGREES 00 MINUTES 25 SECONDS EAST, A DISTANCE OF 228.15 FEET;
2. NORTH 67 DEGREES 00 MINUTES 12 SECONDS EAST, A DISTANCE OF 138.85 FEET;
3. NORTH 75 DEGREES 59 MINUTES 39 SECONDS EAST, A DISTANCE OF 305.16 FEET;
4. NORTH 08 DEGREES 48 MINUTES 34 SECONDS WEST, A DISTANCE OF 107.05 FEET;
5. NORTH 63 DEGREES 52 MINUTES 56 SECONDS EAST, A DISTANCE OF 343.26 FEET;
6. NORTH 76 DEGREES 16 MINUTES 39 SECONDS EAST, A DISTANCE OF 270.29 FEET;
7. SOUTH 25 DEGREES 52 MINUTES 08 SECONDS EAST, A DISTANCE OF 102.75 FEET;
8. NORTH 85 DEGREES 22 MINUTES 15 SECONDS EAST, A DISTANCE OF 177.92 FEET;
9. NORTH 15 DEGREES 45 MINUTES 31 SECONDS EAST, A DISTANCE OF 434.60 FEET;
10. NORTH 39 DEGREES 45 MINUTES 11 SECONDS WEST, A DISTANCE OF 97.03 FEET;
11. NORTH 75 DEGREES 30 MINUTES 51 SECONDS WEST, A DISTANCE OF 985.72 FEET;
12. NORTH 60 DEGREES 42 MINUTES 24 SECONDS WEST, A DISTANCE OF 174.95 FEET TO THE POINT OF BEGINNING CONTAINING 2,541,909 SQUARE FEET OR 58.354 ACRES OF LAND.

GENERAL NOTES:

1. PHASING SHOWN IS PRELIMINARY AND WILL BE FINALIZED AT THE TIME OF PRELIMINARY PLAT AND CONSTRUCTION PLAN DESIGN. EACH PHASE SHALL EXIST AS A STABLE, INDEPENDENT UNIT CONSISTENT WITH THE GARLAND DEVELOPMENT CODE REQUIREMENTS FOR PROVIDING SAFE ACCESS AND CITY SERVICES.
2. THIS PROPERTY IS AFFECTED BY THE 100-YEAR FLOODPLAIN PER FEMA MAP NUMBER 48113C0210L DATED JULY 7, 2014.
3. THE ULTIMATE 100-YEAR FLOODPLAIN ALONG THE TRIBUTARIES IS FROM THE FLOOD STUDY BY JACOBS DATED OCTOBER 2015. SPRING CREEK FLOODPLAIN IS PER 1988 HALFF REPORT.
4. THE HOMEOWNER'S ASSOCIATION (HOA) SHALL MAINTAIN ALL HOA LOTS AND ACCESS/DRAINAGE EASEMENTS IN THE CREEK AREAS.
5. THE SINGLE-FAMILY RESIDENTIAL DEVELOPMENT IS PROPOSED TO HAVE NO ALLEYS.
6. DETENTION WILL NOT BE REQUIRED.
7. STREETS INTERIOR TO THE SINGLE-FAMILY RESIDENTIAL DEVELOPMENT ARE PROPOSED TO HAVE STANDARD 6-INCH CURBS.
8. SIDEWALKS ARE REQUIRED ALONG STREETS. THE DEVELOPER WILL CONSTRUCT SIDEWALKS ADJACENT TO HOA MAINTAINED AREAS. THE BUILDER WITH CONSTRUCT SIDEWALKS ADJACENT TO RESIDENTIAL LOTS AT THE TIME OF HOME CONSTRUCTION.
9. REFER TO THE PLANNED DEVELOPMENT ZONING DOCUMENT SUBMITTED WITH THIS DETAIL PLAN FOR DEVELOPMENT REGULATIONS ASSOCIATED WITH THIS TRACT.
10. LOCAL / LOCAL INTERSECTIONS SHALL HAVE 15' X 15' RIGHT-OF-WAY CORNER CLIPS.
11. EACH SINGLE-FAMILY RESIDENTIAL LOT SHALL HAVE A 2 CAR GARAGE AND 2 OFF STREET PARKING SPACES.
12. RESIDENTIAL PAVEMENT CURB RETURN RADII SHALL BE 25 FEET (TYPICAL).
13. EXISTING POWER POLES AND LIGHT POLES WILL BE RELOCATED AS REQUIRED WITH CONSTRUCTION PLAN DESIGN BY DEVELOPER.
14. EXISTING GIS TOPOGRAPHIC INFORMATION IS PROVIDED BY TEXAS NATURAL RESOURCES INFORMATION SYSTEM (TNRIS) DATED 2009.
15. 6-FOOT SIDEWALKS ARE REQUIRED ALONG ARAPAHO ROAD AND HOLFORD ROAD.
16. HOLFORD ROAD WILL BE CONSTRUCTED IN THE FUTURE BY OTHERS. THE DEVELOPER WILL ENTER INTO AN AGREEMENT WITH THE CITY TO ESCROW FUNDS FOR THE CONSTRUCTION COST OF ONE-HALF OF THE ROAD IMPROVEMENTS ADJACENT TO THEIR PROPERTY, NOT TO EXCEED THE DEVELOPERS PROPORTIONAL SHARE, AT THE TIME OF THE PRELIMINARY PLAT OF PHASE 2 THAT INCLUDES RIGHT OF WAY DEDICATION AND FRONTAGE ALONG HOLFORD ROAD.

EXHIBIT "D" - DETAIL PLAN

OF

THE WOODLANDS ON SPRING CREEK - TRACT 1A

58.35 ACRES / 191 LOTS / 7 HOA LOTS
OUT OF THE
ONEFRE ALVARDO SURVEY ~ ABSTRACT NO. 2
IN THE
CITY OF GARLAND, DALLAS COUNTY, TEXAS

DEVELOPER:
THE WOODLANDS ON SPRING CREEK, LP
14114 NORTH DALLAS PARKWAY,
SUITE 265
DALLAS, TEXAS 75254
CONTACT: MICHAEL HOLIGAN
214-597-3569

CASE NO. 160310-2
PROPOSED ZONING PD 16-16

OWNER:
ALTHEC PROPERTIES, LTD.
914 SOUTH GARLAND AVENUE
GARLAND, TEXAS 75040
CONTACT: THOMAS CHAMBERS
214-676-4635

SURVEYOR:
DATA LAND SERVICES
REGISTERED PROFESSIONAL LAND SURVEYING
P.O. BOX 2110
FORNEY, TEXAS 75126
CONTACT: WILLIAM DAVIS FINNEY, R.P.L.S.

ENGINEER:
JACOBS
1999 BRYAN STREET, SUITE 1200
DALLAS, TX 75201-3136
PHONE 214-638-0145
FAX 214-638-0447
CONTACT: JAISON STEPHEN, P.E.
Jacobs Engineering Group Inc.
Texas Registration F-2966
Jaison.Stephen@jacobs.com

JUNE 30, 2016 SCALE: 1" = 100' SHEET 3 OF 3

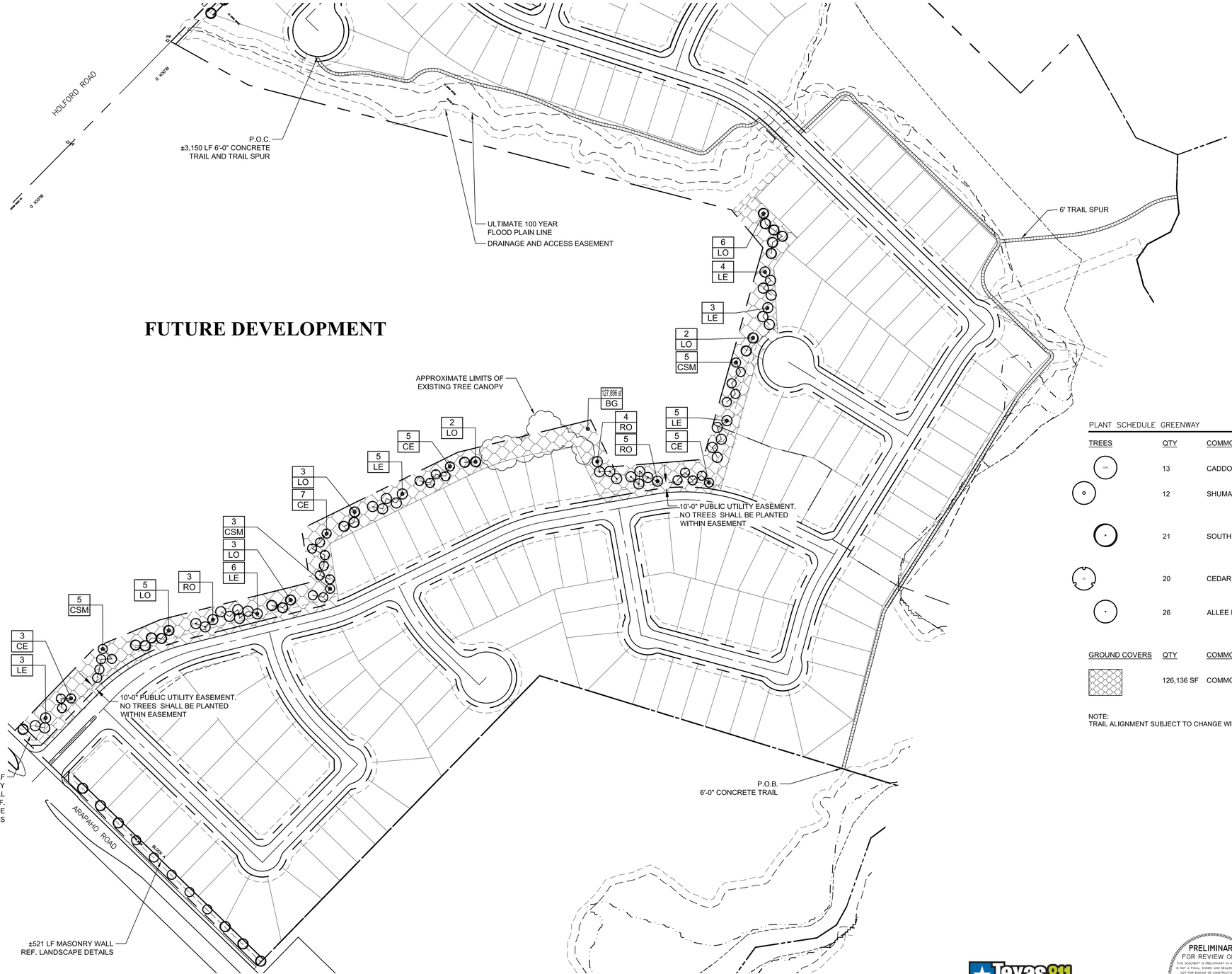
PROJECT NO WFXN2600

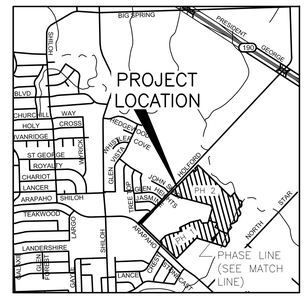
THE WOODLANDS ON SPRING CREEK

I:\SLD\WFXN2600\700 CADD\702 Civil\Detail Plan Submittal 2016\2600LPAP1.dwg, 6/30/2016 12:26 PM, Washburn, Sam L.

Exhibit E

THE WOODLANDS ON SPRING CREEK





VICINITY MAP
SCALE: 1"=2000'

PLANTING NOTES

1. ALL PLANT MATERIAL LOCATIONS SHALL BE STAKED IN FIELD BY THE CONTRACTOR AND APPROVED BY THE OWNER/ARCHITECT PRIOR TO INSTALLATION.
2. FINE GRADING SHALL BE PERFORMED IN ALL AREAS TO BE SEEDED. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITES AND INSURE POSITIVE DRAINAGE IN ALL AREAS TO BE SEEDED.
3. THE CONTRACTOR SHALL VERIFY ALL BUILDING SETBACK LINES, EASEMENT LINES, AND VISIBILITY LINES IN THE FIELD PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES IN THE FIELD PRIOR TO COMMENCEMENT OF WORK.
5. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL SITE FEATURES.
6. ALL DISTURBED AREAS SHALL BE SEEDED.
7. PLANTING PLAN IS PRELIMINARY IN NATURE AND SUBJECT TO CHANGE WITH FINAL DESIGN.

PLANT SCHEDULE GREENWAY

TREES	QTY	COMMON NAME	CONT	CAL	SIZE	REMARKS
	13	CADDO SUGAR MAPLE	65 GAL	3"CAL	12'-15' HT.	
	12	SHUMARD RED OAK	CONTAINER GROWN	3"CAL	12'-15' HT.	STRONG CENTRAL LEADER; EVENLY BRANCHED
	21	SOUTHERN LIVE OAK	CONTAINER GROWN	3"CAL	12'-15' HT.	STRONG CENTRAL LEADER; EVENLY BRANCHED
	20	CEDAR ELM	65 GAL	3"CAL	12'-15' HT.	MATCHING, FULL SINGLE LEADER
	26	ALLEE LACEBARK ELM	CONTAINER GROWN	3"CAL	12'-15'	STRONG CENTRAL LEADER; EVENLY BRANCHED

GROUND COVERS	QTY	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS
	126,136 SF	COMMON BERMUDA GRASS	HYDROMULCH				STATE CERTIFIED SEED

NOTE:
TRAIL ALIGNMENT SUBJECT TO CHANGE WITH FINAL DESIGN

LANDSCAPE PLAN - 01

SCALE: 1" = 100.0'

Texas811 Know what's below. Call before you dig.

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CHARLES H. HAYNES III
REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS #2140
DATE
2016.JUNE.30

LANDSCAPE PLAN
OF
THE WOODLANDS ON SPRING CREEK - TRACT 1A
58.35 ACRES / 191 LOTS / 7 HOA LOTS
OUT OF THE
ONEFRE ALVARDO SURVEY ~ ABSTRACT NO. 2
IN THE
CITY OF GARLAND, DALLAS COUNTY, TEXAS

OWNER:
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914 SOUTH GARLAND AVENUE
GARLAND, TEXAS 75040
CONTACT: THOMAS CHAMBERS
214-676-4635

CASE NO. 160310-2

LANDSCAPE ARCHITECT
JACOBS®
1999 BRYAN STREET, SUITE 1200
DALLAS, TX 75201-3136
PHONE 214-638-0145
FAX 214-638-0447
CONTACT: CHUCK HAYNES, P.L.A.
Jacobs Engineering Group Inc.
Texas Registration F-2966
Chuck.Haynes@jacobs.com

PROPOSED ZONING: PLANNED DEVELOPMENT JUNE 30, 2016 SCALE: REF. PLAN SHEET 1 OF 4

PROJECT NO WFXN2600

\\dalfil02\Projects\WA\SLD\WFXN2600\700 CADD\709 Planning_Landscape\Woodlands LANDSCAPE Plan 06_7_2016.dwg, 6/30/2016 2:46 PM, Baker, Jake

Drawing name: \\dalfil02\Projects\WA\SLD\WFXN2600\700 CADD\709 Planning_Landscape\Woodlands LANDSCAPE Plan 06_7_2016.dwg
Plotted on: Jun 30, 2016 - 2:46pm

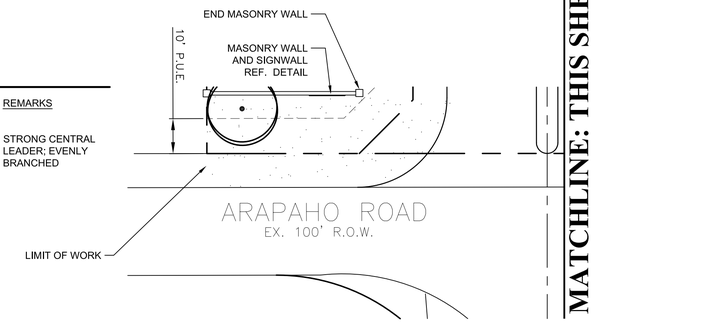
Exhibit E

THE WOODLANDS ON SPRING CREEK

PLANT SCHEDULE – 01

TREES	CODE	QTY	COMMON NAME	CONT	CAL	SIZE	REMARKS
	LO	1	SOUTHERN LIVE OAK	CONTAINER GROWN	3"CAL	12'-15' HT.	STRONG CENTRAL LEADER; EVENLY BRANCHED

GROUND COVERS	CODE	QTY	COMMON NAME	REMARKS
	SOD	1,642 SF	BERMUDA GRASS	

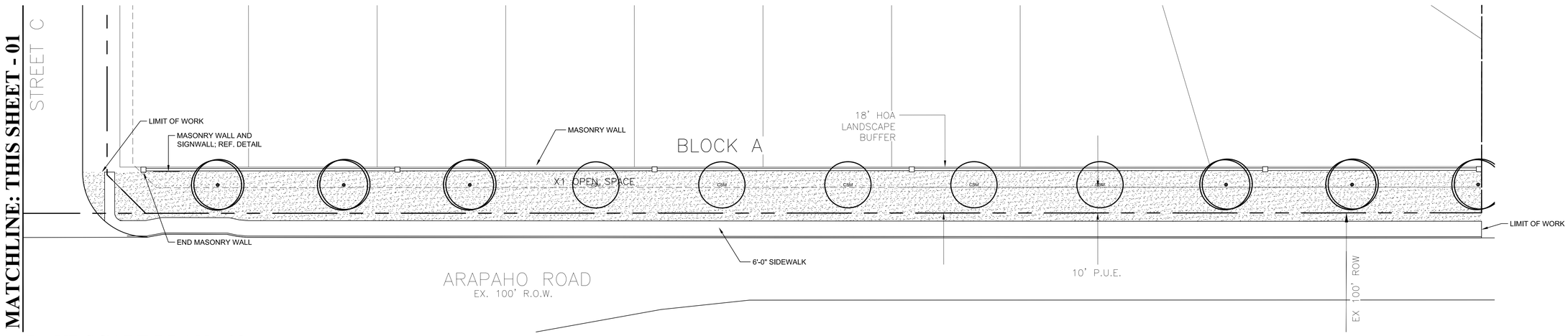


MATCHLINE: THIS SHEET - 02

LANDSCAPE PLAN - 01

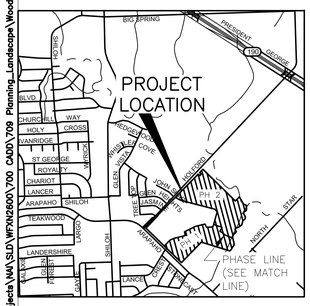
SCALE: 1" = 20.0'

MATCHLINE: THIS SHEET - 01



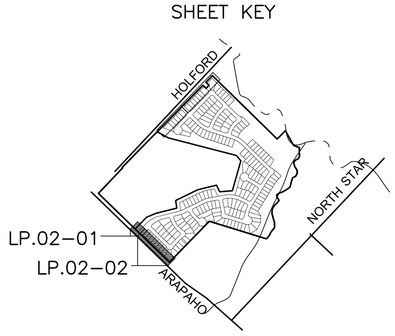
LANDSCAPE PLAN - 02

SCALE: 1" = 20.0'



VICINITY MAP
SCALE: 1"=2000'

SHEET KEY



PLANT SCHEDULE – 02

TREES	CODE	QTY	COMMON NAME	CONT	CAL	SIZE	REMARKS
	CSM	5	CADDO SUGAR MAPLE	65 GAL	3"CAL	12'-15' HT.	
	LO	6	SOUTHERN LIVE OAK	CONTAINER GROWN	3"CAL	12'-15' HT.	STRONG CENTRAL LEADER; EVENLY BRANCHED

GROUND COVERS	CODE	QTY	COMMON NAME	REMARKS
	SOD	10,501 SF	BERMUDA GRASS	

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CHARLES H. HAYNES III
REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS #2160
2016.JUNE.30

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58.35 ACRES / 191 LOTS / 7 HOA LOTS
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IN THE
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914 SOUTH GARLAND AVENUE
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CONTACT: THOMAS CHAMBERS
214-676-4635

CASE NO. 160310-2

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Chuck.Haynes@jacobs.com

PROPOSED ZONING: PLANNED DEVELOPMENT JUNE 30, 2016 SCALE: REF. PLAN SHEET 2 OF 4

PROJECT NO WFXN2600

\\dalfil02\Projects\WA\SLD\WFXN2600\700 CADD\709 Planning_Landscape\Woodlands LANDSCAPE Plan 06_7_2016.dwg, 6/30/2016 2:46 PM, Baker, Jake

Drawing name: \\dalfil02\Projects\WA\SLD\WFXN2600\700 CADD\709 Planning_Landscape\Woodlands LANDSCAPE Plan 06_7_2016.dwg
Plotted on: Jun 30, 2016 - 2:46pm

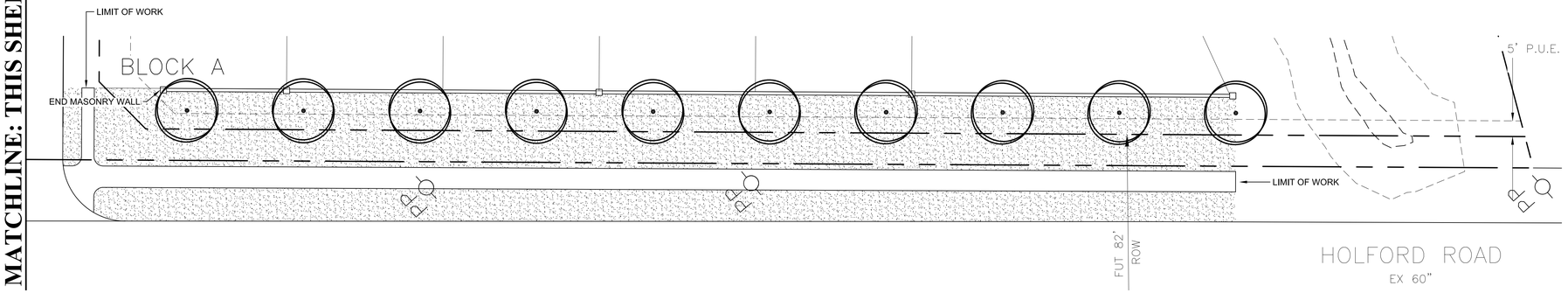
Exhibit E

MATCHLINE: THIS SHEET - 02

PLANT SCHEDULE – 01

TREES	CODE	QTY	COMMON NAME	CONT	CAL	SIZE	REMARKS
	LO	10	SOUTHERN LIVE OAK	CONTAINER GROWN	3"CAL	12'-15' HT.	STRONG CENTRAL LEADER; EVENLY BRANCHED

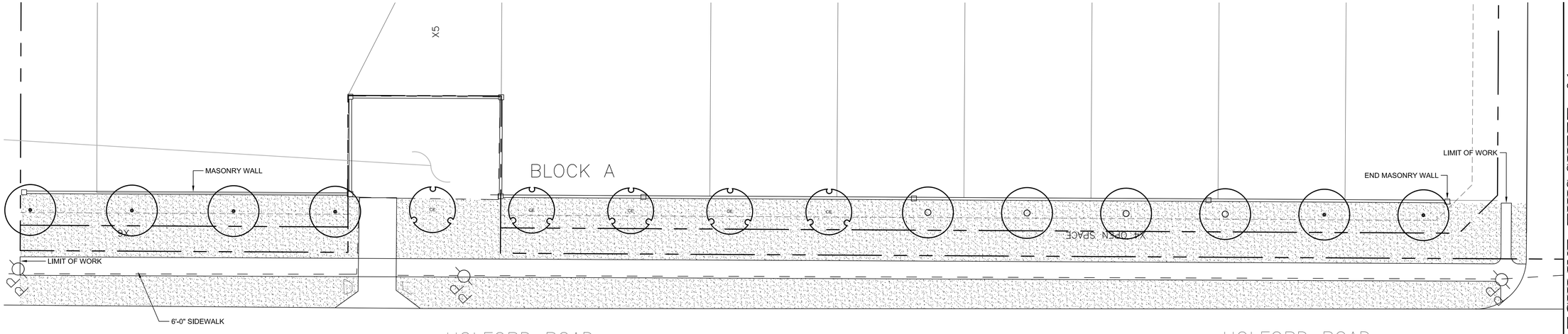
GROUND COVERS	CODE	QTY	COMMON NAME	REMARKS
	SOD	12,545 SF	BERMUDA GRASS	



LANDSCAPE PLAN - 01

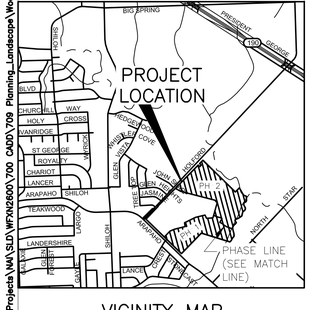
SCALE: 1" = 20.0'

MATCHLINE: THIS SHEET - 01



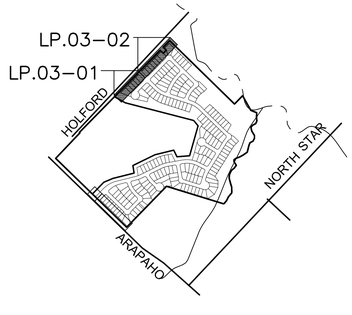
LANDSCAPE PLAN - 02

SCALE: 1" = 20.0'



VICINITY MAP
SCALE: 1"=2000'

SHEET KEY



PLANT SCHEDULE – 02

TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	REMARKS
	4	SHUMARD RED OAK	QUERCUS SHUMARDII	CONTAINER GROWN	3"CAL	12'-15' HT.	STRONG CENTRAL LEADER; EVENLY BRANCHED
CE	5	CEDAR ELM	ULMUS CRASSIFOLIA	65 GAL	3"CAL	12'-15' HT.	MATCHING, FULL SINGLE LEADER
	6	ALLEE LACEBARK ELM	ULMUS PARVIFOLIA `ALLEE`	CONTAINER GROWN	3"CAL	12'-15'	STRONG CENTRAL LEADER; EVENLY BRANCHED

GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS
	20,526 SF	BERMUDA GRASS	CYNODON DACTYLON `419`	SOD				

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PROPOSED ZONING: PLANNED DEVELOPMENT JUNE 30, 2016 SCALE: REF. PLAN SHEET 3 OF 4

PROJECT NO WFXN2600

\\dalfil02\Projects\VA\SLD\WFXN2600\700 CADD\709 Planning_Landscape\Woodlands LANDSCAPE Plan 06_7_2016.dwg, 6/30/2016 2:46 PM, Baker, Jake

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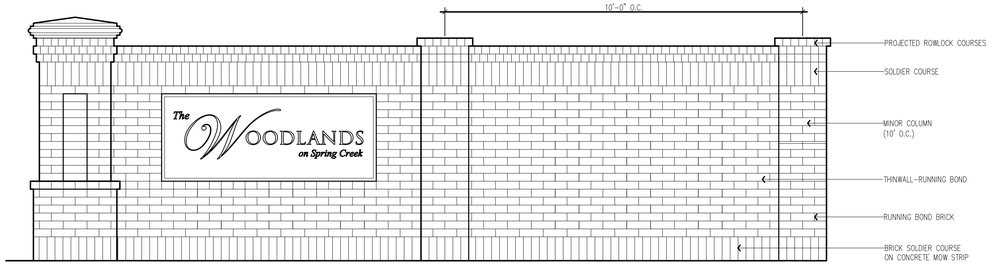
Plotted on: June 30, 2016 - 2:46pm

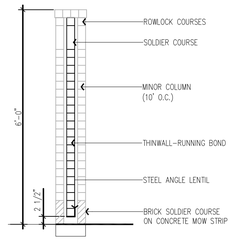
Exhibit E



1 BRICK THINWALL & COLUMNS

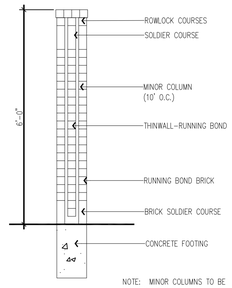
QUANTITY: REF. PLANS

ELEVATION
SCALE: 1/2" = 1'-0"



2 BRICK THINWALL

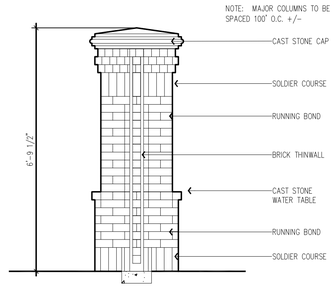
SECTION
SCALE: 1/2" = 1'-0"



NOTE: MINOR COLUMNS TO BE SPACED 10' O.C.

3 MINOR COLUMN

SECTION
SCALE: 1/2" = 1'-0"



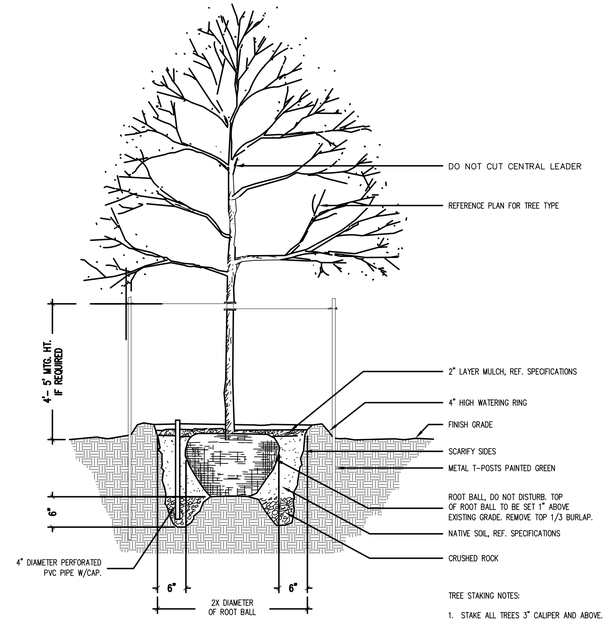
4 MAJOR COLUMN

QUANTITY: REF. PLANS

SIDE ELEVATION
SCALE: 1/2" = 1'-0"

NOTES

1. ALL MASONRY WALLS MUST MEET OR EXCEED CITY OF GARLAND STANDARD CONSTRUCTION DETAILS



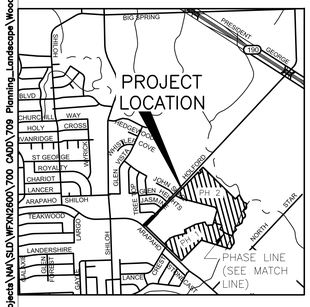
TREE STAKING NOTES:

1. STAKE ALL TREES 3" CALIPER AND ABOVE.
2. LOCATE STAKES OUTSIDE OF TREE WELL. POSITION STAKES TO SECURE TREE AGAINST SEASONAL PREVAILING WINDS.
3. USE RUBBER HOSE TO PROTECT TRUNK.
4. THREAD (2) STRANDS NO. 12 GAUGE GALVANIZED WIRE (TWISTED) THROUGH HOSE AND TIE TO STAKES.

5 TREE PLANTING

QUANTITY: REF. PLANS

ELEVATION
SCALE: NTS



VICINITY MAP
SCALE: 1"=2000'

LANDSCAPE PLAN
OF
THE WOODLANDS ON SPRING CREEK - TRACT 1A
58.35 ACRES / 191 LOTS / 7 HOA LOTS
OUT OF THE
ONEFRE ALVARDO SURVEY ~ ABSTRACT NO. 2
IN THE
CITY OF GARLAND, DALLAS COUNTY, TEXAS

OWNER:
ALTHEC PROPERTIES, LTD.
914 SOUTH GARLAND AVENUE
GARLAND, TEXAS 75040
CONTACT: THOMAS CHAMBERS
214-676-4635

CASE NO. 160310-2

PRELIMINARY
FOR REVIEW ONLY
THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT. NOT FOR BIDDING OR CONSTRUCTION. THIS DOCUMENT WAS PREPARED BY, OR UNDER THE DIRECT SUPERVISION OF
CHARLES H. HAYNES III
REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS #2160
DATE
2016.JUNE.30

LANDSCAPE ARCHITECT
JACOBS®
1999 BRYAN STREET, SUITE 1200
DALLAS, TX 75201-3136
PHONE 214-638-0145
FAX 214-638-0447
CONTACT: CHUCK HAYNES, P.L.A.
Jacobs Engineering Group Inc.
Texas Registration F-2966
Chuck.Haynes@jacobs.com

PROPOSED ZONING: PLANNED DEVELOPMENT JUNE 30, 2016 SCALE: REF. PLAN SHEET 4 OF 4

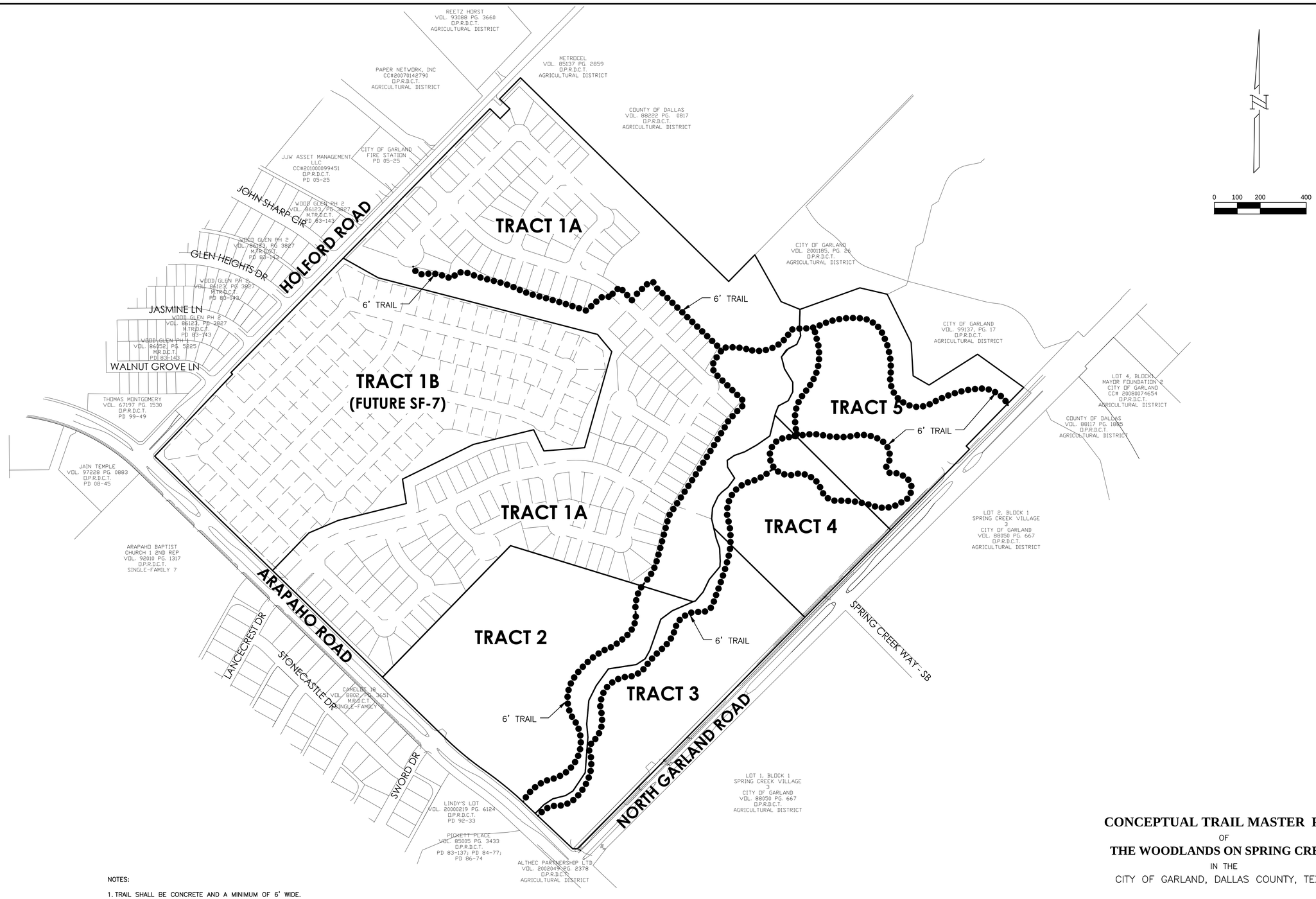
PROJECT NO WFXN2600

\\dalfil02\Projects\WA\SLD\WFXN2600\700 CADD\709 Planning_Landscape\Woodlands LANDSCAPE Plan 06_7_2016.dwg, 6/30/2016 2:46 PM, Baker, Joke

Drawing name: \\dalfil02\Projects\WA\SLD\WFXN2600\700 CADD\709 Planning_Landscape\Woodlands LANDSCAPE Plan 06_7_2016.dwg
Plotted on: Jun 30, 2016 - 2:46pm

Exhibit F

THE WOODLANDS ON SPRING CREEK



NOTES:

1. TRAIL SHALL BE CONCRETE AND A MINIMUM OF 6' WIDE.
2. TRAIL LOCATION IS CONCEPTUAL IN NATURE AND MAY BE ADJUSTED WITH FINAL DESIGN
3. TRAIL SHALL BE PRIVATE AND MAINTAINED BY HOMEOWNERS ASSOCIATION FOR TRACTS 1A & 1B AND SIMILAR ORGANIZATIONS FOR TRACTS 2, 3, 4, AND 5.

CONCEPTUAL TRAIL MASTER PLAN

OF

THE WOODLANDS ON SPRING CREEK

IN THE

CITY OF GARLAND, DALLAS COUNTY, TEXAS

DEVELOPER:

THE WOODLANDS ON SPRING CREEK, LP
14114 NORTH DALLAS PARKWAY,
SUITE 265
DALLAS, TEXAS 75254
CONTACT: MICHAEL HOLIGAN
214-597-3569

OWNER:

ALTHEC PROPERTIES, LTD.
914 SOUTH GARLAND AVENUE
GARLAND, TEXAS 75040
CONTACT: THOMAS CHAMBERS
214-676-4635

SURVEYOR:

DATA LAND SERVICES
REGISTERED PROFESSIONAL LAND SURVEYING
P.O. BOX 2110
FORNEY, TEXAS 75126
CONTACT: WILLIAM DAVIS FINNEY, R.P.L.S.

ENGINEER:

JACOBS

1999 BRYAN STREET, SUITE 1200
DALLAS, TX 75201-3136
PHONE 214-638-0145
FAX 214-638-0447
CONTACT: JAISON STEPHEN, P.E.
Jacobs Engineering Group Inc.
Texas Registration F-2966
Jaison.Stephen@jacobs.com

JUNE 28, 2016 **SCALE: 1" = 200'** SHEET 1 OF 1

PROJECT NO WFXN2600

I:\SLD\WFXN2600\700 CADD\702 Civil\Detail Plan Submittal 2016\2600LPATP.dwg, 6/28/2016 2:07 PM, Washburn, Sam L.

Exhibit G

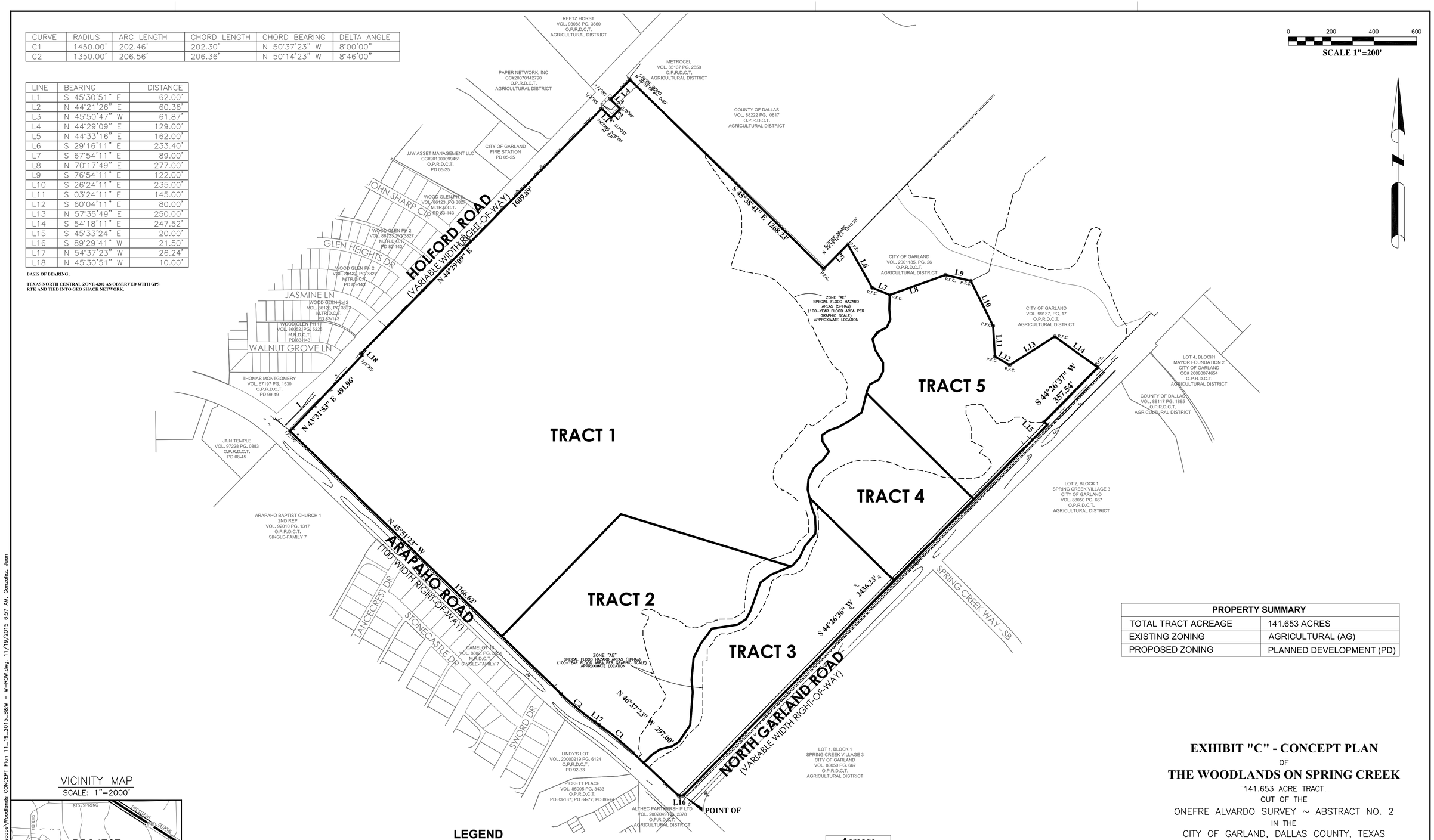
THE WOODLANDS ON SPRING CREEK

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1450.00'	202.46'	202.30'	N 50°37'23" W	8°00'00"
C2	1350.00'	206.56'	206.36'	N 50°14'23" W	8°46'00"

LINE	BEARING	DISTANCE
L1	S 45°30'51" E	62.00'
L2	N 44°21'26" E	60.36'
L3	N 45°50'47" W	61.87'
L4	N 44°29'09" E	129.00'
L5	N 44°33'16" E	162.00'
L6	S 29°16'11" E	233.40'
L7	S 67°54'11" E	89.00'
L8	N 70°17'49" E	277.00'
L9	S 76°54'11" E	122.00'
L10	S 26°24'11" E	235.00'
L11	S 03°24'11" E	145.00'
L12	S 60°04'11" E	80.00'
L13	N 57°35'49" E	250.00'
L14	S 54°18'11" E	247.52'
L15	S 45°33'24" E	20.00'
L16	S 89°29'41" W	21.50'
L17	N 54°37'23" W	26.24'
L18	N 45°30'51" W	10.00'

BASIS OF BEARING:

TEXAS NORTH CENTRAL ZONE 4202 AS OBSERVED WITH GPS RTK AND TIED INTO GEO SHACK NETWORK.

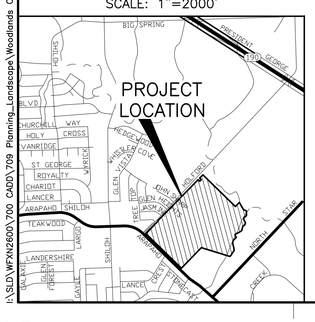


LEGEND

TRACT	LAND USE PROPOSED - PLANNED DEVELOPMENT ZONING	Acreage Gross	Acreage Net*
1	SINGLE-FAMILY RESIDENTIAL	90.206	81.400
2	MULTI-FAMILY RESIDENTIAL	17.892	14.451
3	MULTI-FAMILY RESIDENTIAL	11.905	10.566
4	MULTI-FAMILY RESIDENTIAL FOR ACTIVE ADULT, INDEPENDENT LIVING	8.129	5.561
5	COMMUNITY RETAIL	13.521	1.650
	TOTAL	141.653	

** Net Acreage = Removal of Floodway and 100 Year Flood Plain*
FLOOD DATA SOURCE: FEMA FIRM PANEL: 48113C0201OL DATE: 07-07-2014

VICINITY MAP
SCALE: 1"=2000'



PROPERTY SUMMARY	
TOTAL TRACT ACREAGE	141.653 ACRES
EXISTING ZONING	AGRICULTURAL (AG)
PROPOSED ZONING	PLANNED DEVELOPMENT (PD)

EXHIBIT "C" - CONCEPT PLAN

OF

THE WOODLANDS ON SPRING CREEK

141.653 ACRE TRACT
OUT OF THE
ONEFRE ALVARDO SURVEY ~ ABSTRACT NO. 2
IN THE
CITY OF GARLAND, DALLAS COUNTY, TEXAS

DEVELOPER:
THE WOODLANDS ON SPRING CREEK, LP
14114 NORTH DALLAS PARKWAY,
SUITE 265
DALLAS, TEXAS 75254
CONTACT: MICHAEL HOLIGAN
214-597-3569

CASE NO. 150507-2

OWNER:
ALTHEC PROPERTIES, LTD.
914 SOUTH GARLAND AVENUE
CARLAND, TEXAS 75040
CONTACT: THOMAS CHAMBERS
214-676-4635

SURVEYOR:
DATA LAND SERVICES
REGISTERED PROFESSIONAL LAND SURVEYING
P.O. BOX 2110
FORNEY, TEXAS 75126
CONTACT: WILLIAM DAVIS FINNEY, R.P.L.S.

ENGINEER:
JACOBS
1999 BRYAN STREET, SUITE 1200
DALLAS, TX 75201-3136
PHONE 214-638-0145
FAX 214-638-0447
CONTACT: JAISON STEPHEN, P.E.
Jacobs Engineering Group Inc.
Texas Registration F-2966
Jaison.Stephen@jacobs.com

NOVEMBER 19, 2015 SCALE: 1" = 200' SHEET 1 OF 1

PROJECT NO WFXN2600

I:\SLD\WFXN2600\700 CADD\709 Planning_Landscape\Woodlands CONCEPT Plan 11_19_2015_B&W - W-ROW.dwg, 11/19/2015 6:57 AM, Gonzalez, Juan

REPORT & MINUTES

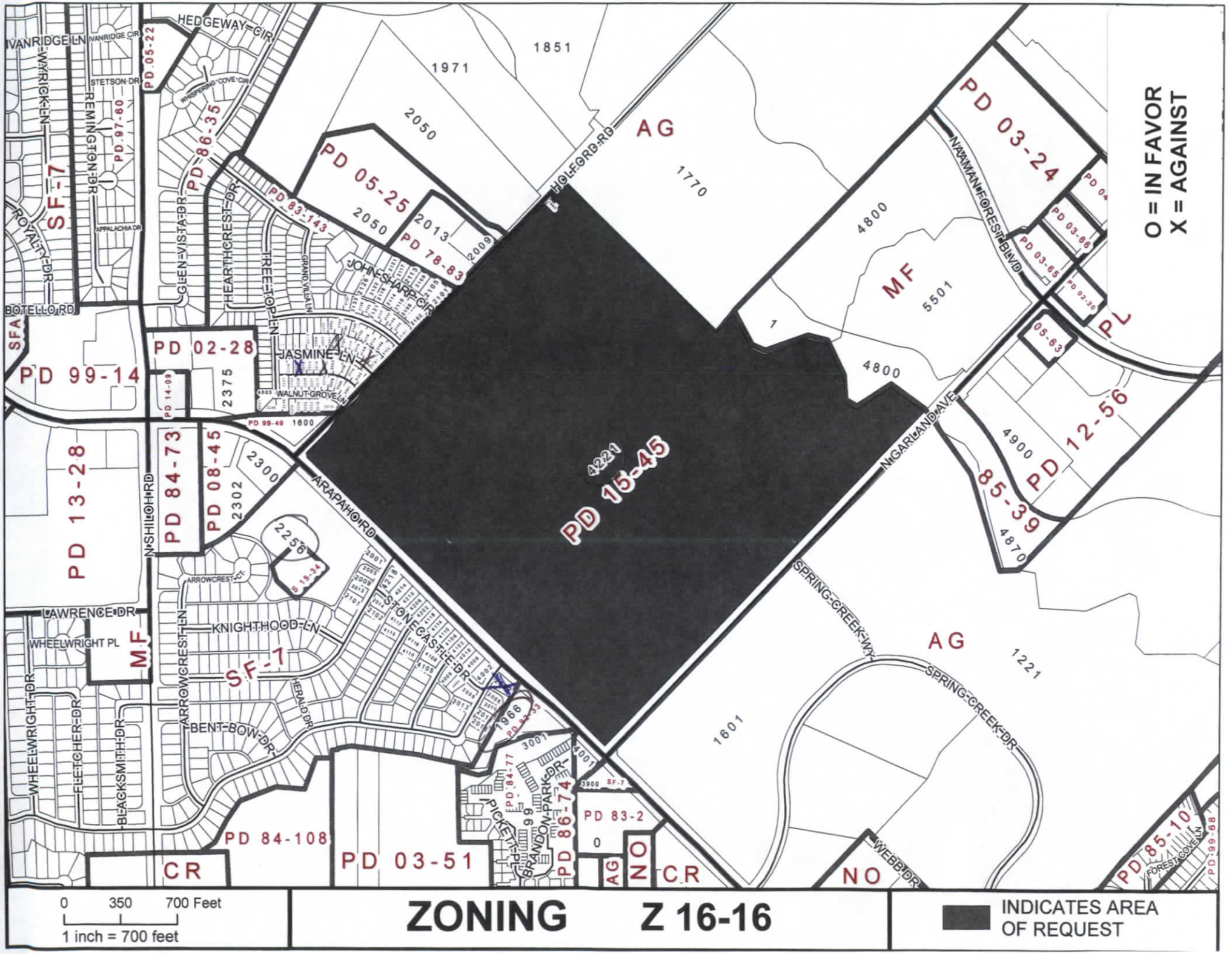
P.C. Meeting, July 11, 2016 (7 Members Present)

Consideration of the application of Jacobs Engineering Group Inc, requesting approval of 1) an amended Concept Plan for Dwelling, Single-Family Detached; Dwelling, Multi-Family; Elder Care-Independent Living and Restaurant, 2) a Detail Plan for Dwelling, Single-Family Detached on a property zoned Planned Development (PD) District 15-45 for Single-Family-5 (SF-5) Uses, Multi-Family Uses and Limited Community Office Uses and 3) an alley waiver. This property is bounded by Holford Road to the northwest, Spring Creek Forest Preserve to the northeast, North Garland Avenue to the southeast and Arapaho Road to the southwest. (District 7) (File Z 16-16) (This request was postponed from the June 27, 2016 Plan Commission meeting)

The applicant, Michael Holigan, 2837 Creekway Dr., Carrollton, TX 75010, provided an overview of the request and elaborated on the realignment of Holford Road.

Chairman Roberts questioned the reduction of lot size, maximum build-to height, and language regarding the garage setback.

Motion was made by Commissioner Luckie, seconded by Commissioner O'Hara to close the Public Hearing and approve the request with the maximum roof height of 35 feet. **Motion carried: 6** Ayes, **0** Nays. Commissioner Fisher recused himself from this case.


O = IN FAVOR
X = AGAINST
PD 15-45
4221
AG
1770
1971
1851
2050
PD 05-25
2050
2013
2009
PD 78-83
PD 03-24
PD 03-66
PD 03-65
PD 02-20
05-63
PL
MF
5501
4800
1
4800
PD 12-56
4900
85-39
4870
PD 99-14
PD 02-28
2375
PD 14-09
PD 99-49
1600
PD 13-28
PD 84-73
PD 08-45
2300
2302
2256
S 15-34
PD 84-108
CR
PD 03-51
PD 86-74
PD 84-77
PD 83-2
0
AG
NO
CR
NO
AG
1221
1601
1966
PD 85-10
PD 99-68
HEDGEWAY CIR
IVANRIDGE LN
IVANRIDGE CIR
PD 05-22
STETSON DR
WHISPERING COVE CIR
PD 97-60
REMINGTON DR
PD 86-35
SF-7
ROYALTY DR
APPALACHIA DR
GLEN VISTA DR
HEARTHCREST DR
TREETOP LN
PD 83-143
GRAND VILLA LN
JOHNSHARP CT
BOTELLO RD
SFA
JASMINE LN
WALNUT GROVE LN
ARAPAHO RD
N SHILOH RD
ARROWCREST CT
LAWRENCE DR
WHEELWRIGHT PL
KNIGHTHOOD LN
STONEGATE DR
ARROWCREST LN
HERALD DR
BENT BOW DR
WHEELWRIGHT DR
FLETCHER DR
BLACKSMITH DR
PICKETT PL
BRANDON PARK DR
HOLFORD RD
NAAMAN FOREST BLVD
NGARILAND AVE
SPRING CREEK WAY
SPRING CREEK DR
WEBB DR
FOREST COVE LN
0 350 700 Feet
1 inch = 700 feet
ZONING Z 16-16
INDICATES AREA OF REQUEST

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

GARLAND

May 26, 2016

HEARING DATE/TIME: Plan Commission: June 13, 2016 – 7:00 PM

APPLICANT: Jacobs Engineering Group Inc.

File Z 16-16

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, June 13, 2016, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Jacobs Engineering Group Inc.**, requesting approval of 1) an amended Concept Plan for Dwelling, Single-Family Detached; Dwelling, Multi-Family; Elder Care-Independent Living and Restaurant and 2) a Detail Plan for Dwelling, Single-Family Detached on a property zoned Planned Development (PD) District 15-45 for Single-Family-5 Uses, Multi-Family Uses and Limited Community Office Uses. The property is shown on the enclosed sketch and is described as follows:

BEING an approximate 141.653 acre tract of land, situated in the Onefre Alvarado Survey, Abstract No. 2, Garland, Dallas County, Texas, and being part of Tract No.1, Tract No. 2 and Tract No. 3 in deed to Althec Partnership, Ltd. as recorded in Volume 2002049, Page 2378, Deed Records of Dallas County, Texas. This property is bounded by Holford Road to the northwest, Spring Creek Forest Preserve to the northeast, North Garland Road to the southeast and Arapaho Road to the southwest. (District 7)

Note: The applicant proposes to develop a portion of the property described above with a residential subdivision.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474.** Should you have any questions, please contact Josue De La Vega at 972-205-2445

(Please Check One Below)

____ I am in favor of the request.

✓ I am opposed to the request

Please include any comments you wish to provide supporting your position in the space provided below.

We are opposed to the request until the details of the plan are known and discussed.

(Please complete the following information)

Your Property Address 2125 JASMINE LN

Printed Name MARC S. and CONNIE R. QUINN

2125 JASMINE LN — GARLAND, TX — 75044

Address — City, State — Zip

The above statements reflect my (our) opinion regarding the proposed request(s)

Signature Connie R. Quinn — Title OWNERS

Date: 6/11/16

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

GARLAND

May 25, 2016

HEARING DATE/TIME: Plan Commission: June 13, 2016 – 7:00 PM

APPLICANT: Jacobs Engineering Group Inc.

File Z 16-16

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, June 13, 2016, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Jacobs Engineering Group Inc.**, requesting approval of 1) an amended Concept Plan for Dwelling, Single-Family Detached; Dwelling, Multi-Family; Elder Care-Independent Living; and Restaurant and 2) a Detail Plan for Dwelling, Single-Family Detached on a property zoned Planned Development (PD) District 15-45 for Single-Family-5 Uses, Multi-Family Uses and Limited Community Office Uses. The property is shown on the enclosed sketch and is described as follows:

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(Please Check One Below)

✓ I am in favor of the request.

____ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.
Our church family is excited about this development and looks forward to serving our new neighbors in ways that will bless them.

(Please complete the following information)

Your Property Address
Arapaho Road Baptist Church

Printed Name
2256 Arapaho Road Garland, TX 75044
Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).
David Rogers David Rogers Lead Pastor
Signature Title
Date: 6/8/16

JUN 8 2016

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

May 25, 2016

HEARING DATE/TIME: Plan Commission: June 13, 2016 – 7:00 PM

APPLICANT: Jacobs Engineering Group Inc.

File Z 16-16

Dear Property Owner:

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(Please Check One Below)

____ I am in favor of the request.

X I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

Land unstable. Holford needs major widening and leveling.

(Please complete the following information)

Your Property Address 2206 Jasmine

Printed Name N. HASE

Address Garland, TX 75044
City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature N Hase Owner
Title

Date: 6-7-16

JUN 10 2016 PM 2:57

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

May 25, 2016

HEARING DATE/TIME: Plan Commission: June 13, 2016 – 7:00 PM

APPLICANT: Jacobs Engineering Group Inc.

File Z 16-16

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(Please Check One Below)

____ I am in favor of the request.

X I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

This is too much population density & traffic for our area.

(Please complete the following information)

Your Property Address

Deborah Lewis

Printed Name

2105 Jasmine Lane, Garland, TX 75044

Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature Title

Date: 6-7-2016

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

GARLAND

May 25, 2016

HEARING DATE/TIME: Plan Commission: June 13, 2016 – 7:00 PM

APPLICANT: Jacobs Engineering Group Inc.

File Z 16-16

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(Please Check One Below)

✓ I am in favor of the request.

_____ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

_____

(Please complete the following information)

Your Property Address 1966 Arapaho Rd Garland, TX 75044

Printed Name Imagination Station

Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Barbara Travis President

Signature Title

Date: 6/7/16

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

GARLAND

May 25, 2016

HEARING DATE/TIME: Plan Commission: June 13, 2016 – 7:00 PM

APPLICANT: Jacobs Engineering Group Inc.

File Z 16-16

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, June 13, 2016, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Jacobs Engineering Group Inc.**, requesting approval of 1) an amended Concept Plan for Dwelling, Single-Family Detached; Dwelling, Multi-Family; Elder Care-Independent Living and Restaurant and 2) a Detail Plan for Dwelling, Single-Family Detached on a property zoned Planned Development (PD) District 15-45 for Single-Family-5 Uses, Multi-Family Uses and Limited Community Office Uses. The property is shown on the enclosed sketch and is described as follows:

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Note: The applicant proposes to develop a portion of the property described above with a residential subdivision.

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(Please Check One Below)

____ I am in favor of the request.

V I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.
I have already given my opinion on previous subject

(Please complete the following information)

Your Property Address Helene M. MORREL

Printed Name 2002 Sword Garland Tx 75044

Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature Title

Date: 6-10-2016

JUN 14 2016

_____ I am in favor of the request.

__✓__ I am opposed to the request.

Z16-16

Please include any comments you wish to provide supporting your position in the space provided below.

THE TRAFFIC ON HOLFORT RD IS ALREADY BAD, THIS WILL MAKE IT WORSE, AND EVEN BECOME BAD DURING CONSTRUCTION.

(Please complete the following information)

Your Property Address

Mr. Jerome W. Brock
2222 Jasmine Ln.
Garland, TX 75044

JEROME W. BROCK

City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

OWNER ✓ RETIRED. Jerome W. Brock

Signature Title

Date: 6-12-2016

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

GARLAND

May 25, 2016

HEARING DATE/TIME: Plan Commission: June 13, 2016 – 7:00 PM

APPLICANT: Jacobs Engineering Group Inc.

File Z 16-16

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, June 13, 2016, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Jacobs Engineering Group Inc.**, requesting approval of 1) an amended Concept Plan for Dwelling, Single-Family Detached; Dwelling, Multi-Family; Elder Care-Independent Living and Restaurant and 2) a Detail Plan for Dwelling, Single-Family Detached on a property zoned Planned Development (PD) District 15-45 for Single-Family-5 Uses, Multi-Family Uses and Limited Community Office Uses. The property is shown on the enclosed sketch and is described as follows:

BEING an approximate 141.653 acre tract of land, situated in the Onefre Alvarado Survey, Abstract No. 2, Garland, Dallas County, Texas, and being part of Tract No.1, Tract No. 2 and Tract No. 3 in deed to Althec Partnership, Ltd. as recorded in Volume 2002049, Page 2378, Deed Records of Dallas County, Texas. This property is bounded by Holford Road to the northwest, Spring Creek Forest Preserve to the northeast, North Garland Road to the southeast and Arapaho Road to the southwest. (District 7)

Note: The applicant proposes to develop a portion of the property described above with a residential subdivision.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474.** Should you have any questions, please contact Josue De La Vega at 972-205-2445.

(Please Check One Below)

X I am in favor of the request.

____ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

This property is a very good location for a Plan Development District as presented by Jacobs Engineering Group, Inc. It will enhance the North Garland Corridor and bring in more tax dollars for the City of Garland.

It is a nice piece of property. It has 3 streets and a creek around it with lots of trees around the creek. I think this enhances the property for the Plan Development being presented.

(Please complete the following information)

Your Property Address

Althec Partnership, LTD
Printed Name

4217 North Garland Avenue | Garland, TX | 75040
Address | City, State | Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Thomas Chambers | Partner
Signature | Title

Date: 6/6/16

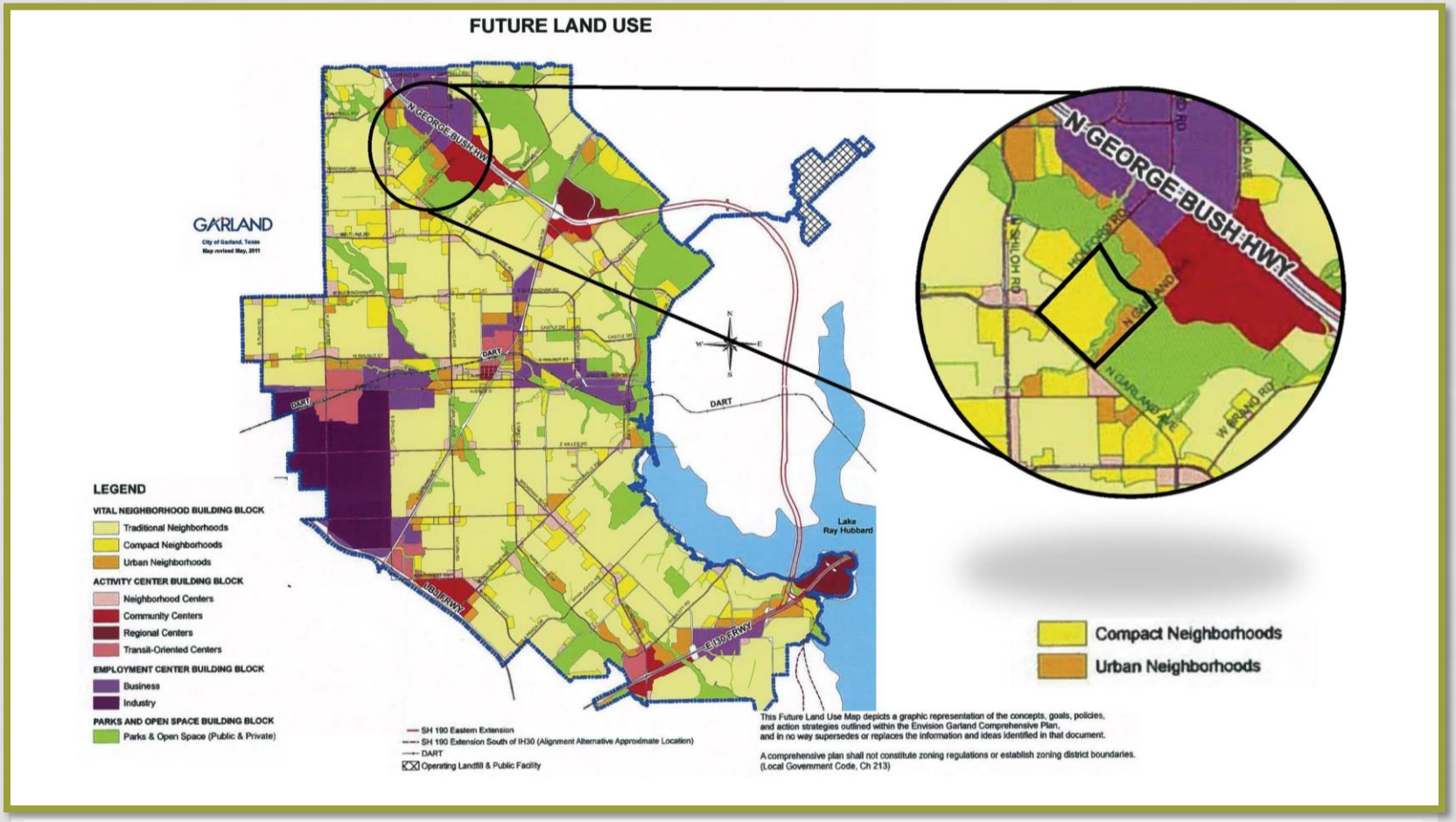
Outside the Notification Area

THE WOODLANDS ON SPRING CREEK GARLAND, TEXAS

THE WOODLANDS ON SPRING CREEK, LP

EXISTING SITE (141.6 ACRES)

CURRENT ZONING: PD 15-45



FUTURE LAND USE MAP

ENVISION GARLAND – 2030 COMPREHENSIVE PLAN

FUTURE LAND USE MAP

- Comprehensive Plan shows property to be **Compact Neighborhoods** and **Urban Neighborhoods**
- Compact Neighborhood density is between 6 and 12 dwelling units per acre.
- Urban Neighborhood density is greater than 12 dwelling units per acre.
- Tract 1A density = 3.3 dwelling units per acre

DECEMBER 2015 JULY 2016

THE WOODLANDS ON SPRING CREEK

PROPOSED CONCEPT PLAN

THE WOODLANDS ON SPRING CREEK

GARLAND
PLANNING REPORT

City Council Regular Session Agenda **Agenda Item 7. d.**

Meeting Date: August 2, 2016

Item Title: LU 16-01/Z 16-23 Serene Global

Submitted By: Will Guerin, Planning Director

REQUEST

Approval of 1) an amendment to the Envision Garland Plan Future Land Use Map from “Parks & Open Space (Public and Private)” to ”Traditional Neighborhoods”; 2) a zoning change from Agriculture (AG) District to Planned Development (PD) District for Single-Family-10 (SF-10) Uses and 3) a Concept Plan for Dwelling, Single-Family Detached.

OWNER

MarSue Haffner

PLAN COMMISSION RECOMMENDATION

On July 11, 2016, the Plan Commission by a vote of seven (7) to zero (0) recommended approval of an amendment to the Envision Garland Plan Future Land Use Map from “Parks & Open Space (Public and Private)” to “Traditional Neighborhoods”.

In a separate motion at the same meeting, the Plan Commission by a vote of seven (7) to zero (0) recommended approval of a zoning change from Agriculture (AG) District to Planned Development (PD) District for Single-Family-10 (SF-10) Uses and a Concept Plan for Dwelling, Single-Family Detached.

STAFF RECOMMENDATION

1. Approval of an amendment to the Envision Garland Plan Future Land Use Map from “Parks and Open Space (Public and Private)” to “Traditional Neighborhoods”.

2. Approval of 1) a zoning change from Agriculture (AG) District to Planned Development (PD) District for Single-Family-10 (SF-10) Uses and 2) a Concept Plan for Dwelling, Single-Family Detached.

BACKGROUND

The subject property is currently undeveloped and zoned Agriculture (AG) District. The applicant seeks approval of an amendment to the Envision Garland Plan Future Land Use Map, a zoning change, and a Concept Plan.

SITE DATA

The site has an area of 28.62 acres. It has approximately 560 feet of frontage along Brand Road. To the east, across Brand Road, is the Hills of Breckinridge subdivision. The north and west sides of the site are bounded by public open space consisting of Breckinridge Park and Firewheel Golf Course. The property to the south is undeveloped.

Approximately three-quarters of the site is heavily wooded. The remaining portion of the site, located in the northeast corner, contains pasture and a few trees.

USE OF PROPERTY UNDER CURRENT ZONING

The Agriculture (AG) District is intended for vacant land which is not yet ready for development; land which is used for agricultural or open space purposes; and land which due to its topography or location within a floodplain or other undevelopable area is not anticipated to be developed for more intense uses. The proposed Single-Family-10 (SF-10) Uses are not permitted by right in the Agriculture (AG) District; therefore, a zoning change is required for the proposed uses. The applicant has proposed rezoning to a Planned Development (PD) District for Single-Family-10 (SF-10) Uses.

CONSIDERATIONS

Envision Garland Future Land Use Map

1. The applicant requests to amend the Envision Garland Comprehensive Plan's future land use map designation for the site from "Parks & Open Space" to "Traditional Neighborhoods", to support the development of a single-family residential subdivision with twelve lots. The lots would be approximately one-half acre in size. The proposed development would comply with the Traditional Neighborhoods development type, as identified by the Envision Garland Plan. The site is within a flood zone and the home locations would be established outside of the flood limits to allow the residential development. An amendment of the flood zone for the site represents a significant change in the intent of potential future land uses.

2. Parks & Open Space, as identified by the Envision Garland Comprehensive Plan, includes parks, recreation, and open lands providing active and passive recreation. This Building Block also supports the incorporation of natural and man-made environments supporting community sustainability.

3. Traditional Neighborhoods, a development type within the Vital Neighborhoods Building Block, is characterized as low density, single-family detached development, typically between one and six dwelling units per acre.

Zoning

4. Consideration should be given to the compatibility of the single-family use proposed with the surrounding area. Neighboring properties adjacent to the north and west, and across the street to the east are developed with parks and open space. To the south of the site is unimproved property. The Hills of Breckinridge Replat subdivision is to the east with one

single-family lot and the subdivision's drainage pond and open space on the Brand Road frontage. The Hills of Breckinridge Replat lots average approximately 20,000 square feet in size. To the west of the site and west of Rowlett Creek is the Retreat at Firewheel subdivision with lots of 15,000 square feet minimum.This proposal is for one-half acre, 21,780 square foot lots.

5. The site is separated from existing development by Brand Road, a major thoroughfare.Brand Road is a planned 100-foot wide right-of-way median-divided street, with landscaping along both sides.

6. Consideration should also be given to any site constraints that limit development on the subject site. The Concept Plan shows the site with a 100-year floodplain comprising all of the site. The floodplain constrains the site development potential, reducing the developable area. As a result, the Planned Development (PD) District is applicable due to the need for flexible zoning. The site constraints present the potential for the clustering of lots to afford protection of the environmental conditions of the floodplain area. The clustering of lots would result in approximately one-half acre lot sizes of 21,780 square feet.This size is comparable to the average lot size of the Hills of Breckinridge (20,000 square feet) and larger than the average lot size in the Retreat at Firewheel (16,135 square feet).

7. The applicant desires to yield 12 lots, resulting in 0.41 units per acre. The Hills of Breckinridge is developed at approximately 1.2 units per acre. The Retreat at Firewheel is built with approximately 2.0 units per acre.

8. This proposal would result in lots clustered onto the northeastern portion of the site with preservation of floodplain area on the west and south side of the property. The southwest corner of the site is intended to remain wooded, without land disturbance. The northwest portion would be improved with a pond for proposed drainage detention.

9. The Detail Plan elements will be reviewed in a future application and will include street improvements, compatibility of screening walls along Brand Road, results of flood study, tree preservation, and design features.

COMPREHENSIVE PLAN

The Envision Garland Plan designates the site as Parks and Open Space (Public & Private) and Traditional Neighborhoods.

Traditional Neighborhoods offer residential areas of typical suburban density within a conventional neighborhood setting. Development in Traditional Neighborhoods includes single-family detached homes arranged on conventional collector and neighborhood streets.

Parks and Open Spaces consist of a variety of public/private parks, plazas, and natural areas for passive and active recreation, as well as informal gathering places, including development that contributes to their desirability.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

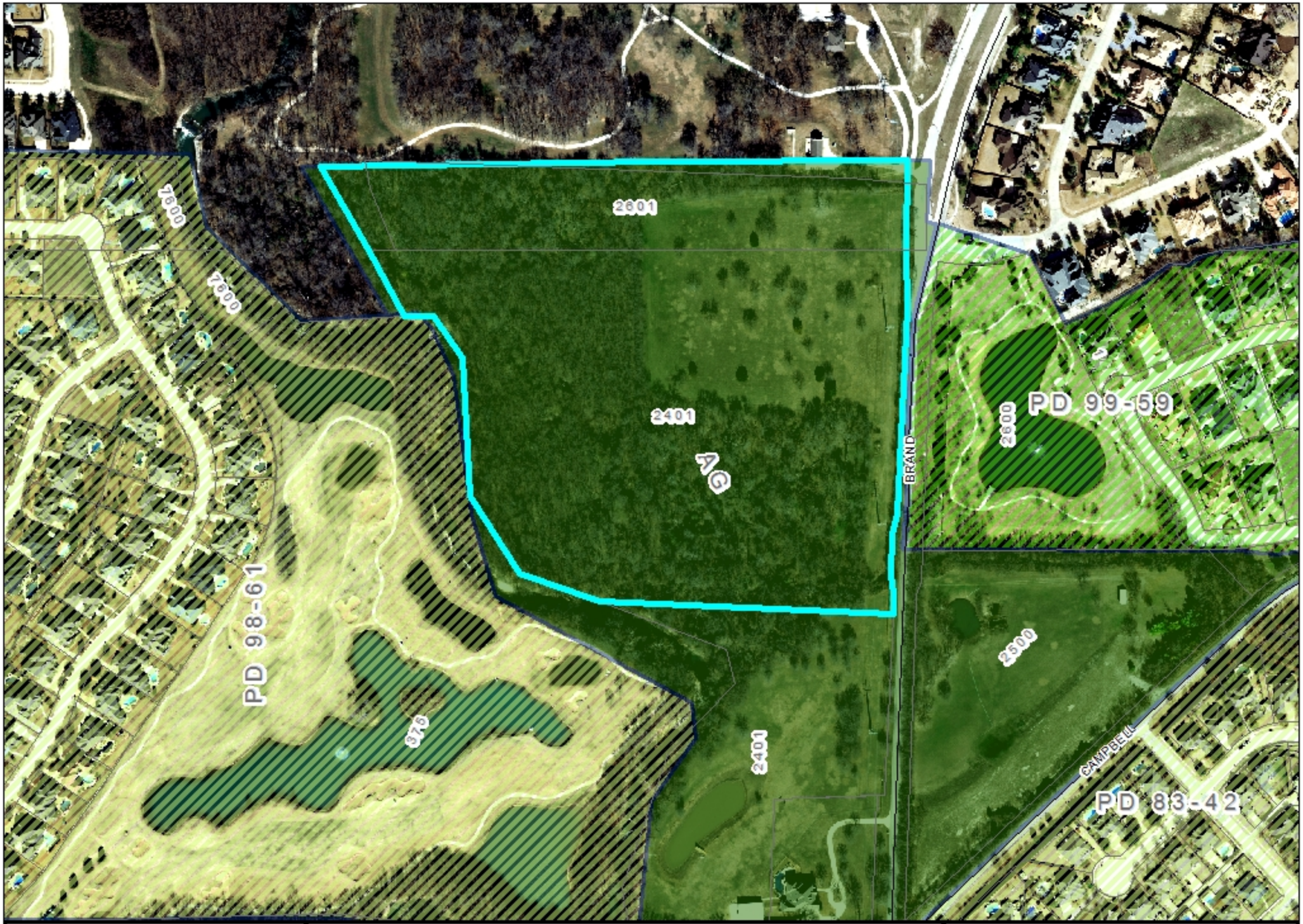
The properties to the north and west are open space and park land. The properties to the east are zoned Planned Development (PD) Single-Family Uses and developed with single-family dwelling units.

The proposed uses are compatible with the surrounding development. More refined details of the proposed lots and perimeter treatment will be included with the Detail Plan to ensure the subject property is developed in a manner that is sensitive to the surrounding natural areas and land uses.

Attachments

LU 16-01/Z 16-23 Serene Global Attachments

LU 16-01/Z 16-23 Serene Global Responses



0 150 300 Feet

1 inch = 300 feet

ZONING Z 16-23

INDICATES AREA OF REQUEST

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 16-23

I. Statement of Purpose: The purpose of this Planned Development is to permit the development of Single-Family Uses.

II. Statement of Effect: This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.

III. General Regulations: All regulations of the Single-Family 10 (SF-10) District as set forth in Chapter 2 of the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Concept Plan: Development shall be in general conformance with the Concept Plan labeled Exhibit C. In the event there is conflict between the approved Concept Plan and the Specific Regulations below, the Specific Regulations shall apply.

V. Detail Plan: Approval of a Detail Plan is required prior to any development on the property reflected in the Concept Plan.

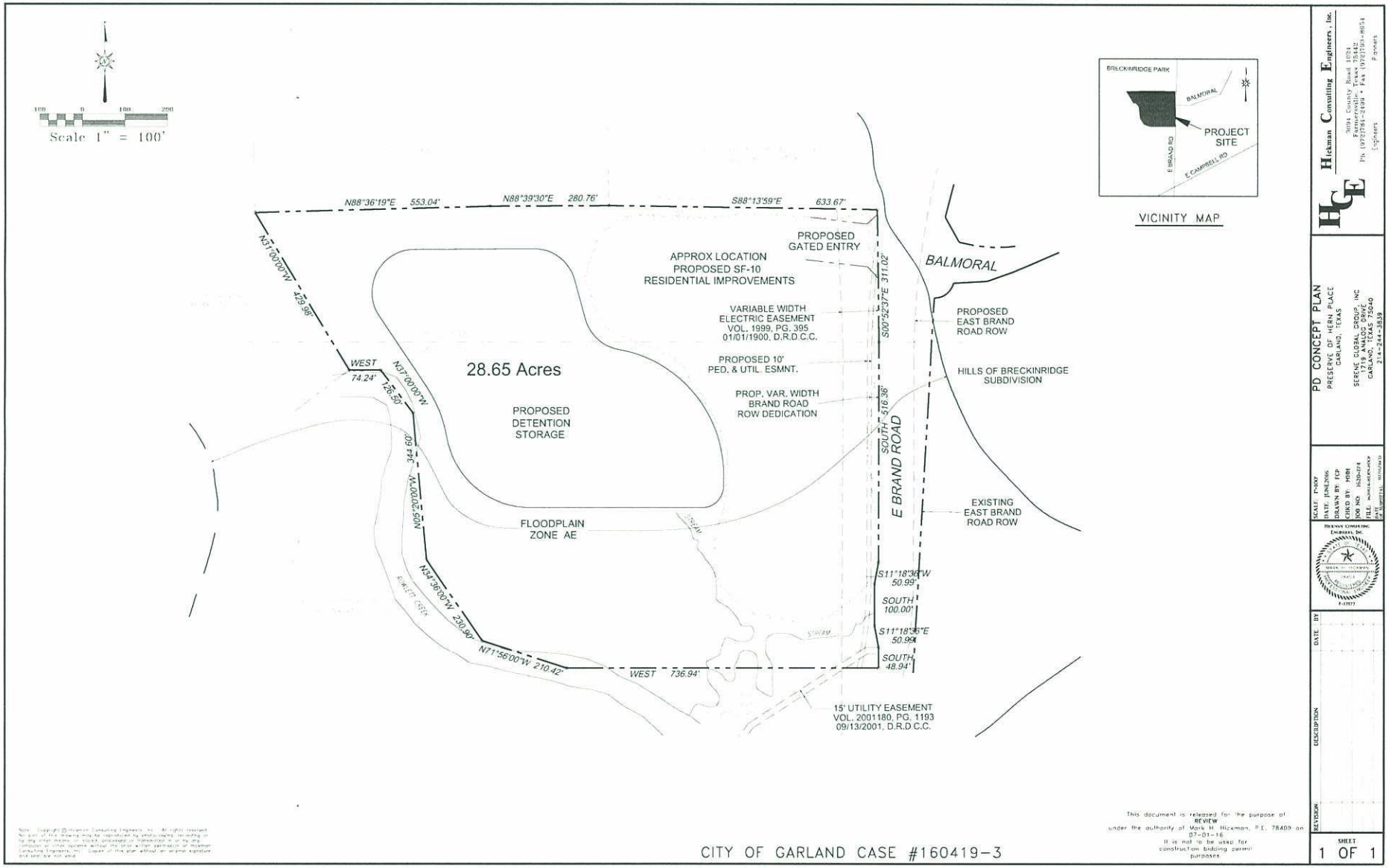
V. Specific Regulations:

A. Permitted Uses: Only Dwelling, Single-Family detached uses shall be permitted.

B. Number of Lots: The maximum allowed number of lots is 12.

EXHIBIT B

EXHIBIT C



CITY OF GARLAND CASE #160419-3

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This document is released for the purpose of REVIEW under the authority of Mark H. Hickman, P.E. 78489 on 07-01-16. It is not to be used for construction bidding permit purposes.

Hickman Consulting Engineers, Inc.
3904 County Road 1024
Cleburne, Texas 76033
Ph (972)756-2998 • Fax (972)751-4154
Engineers Planners

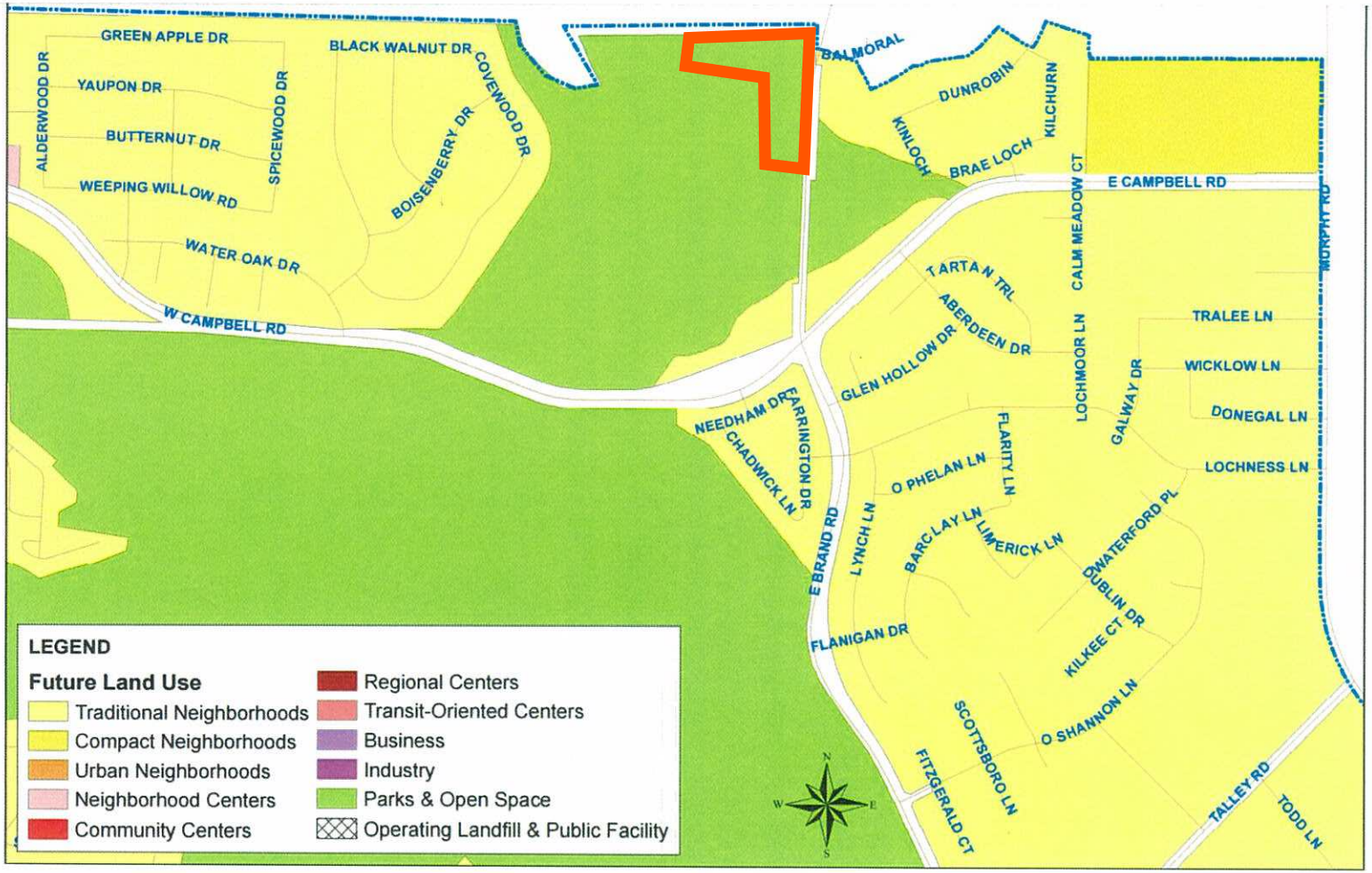
PD CONCEPT PLAN
PRESERVE OF HERN PLACE
GARLAND, TEXAS

SEEFRIE GLOBAL GROUP, INC
1715 ALMA DRIVE, SUITE 100
GARLAND, TEXAS 75040
214-244-3839

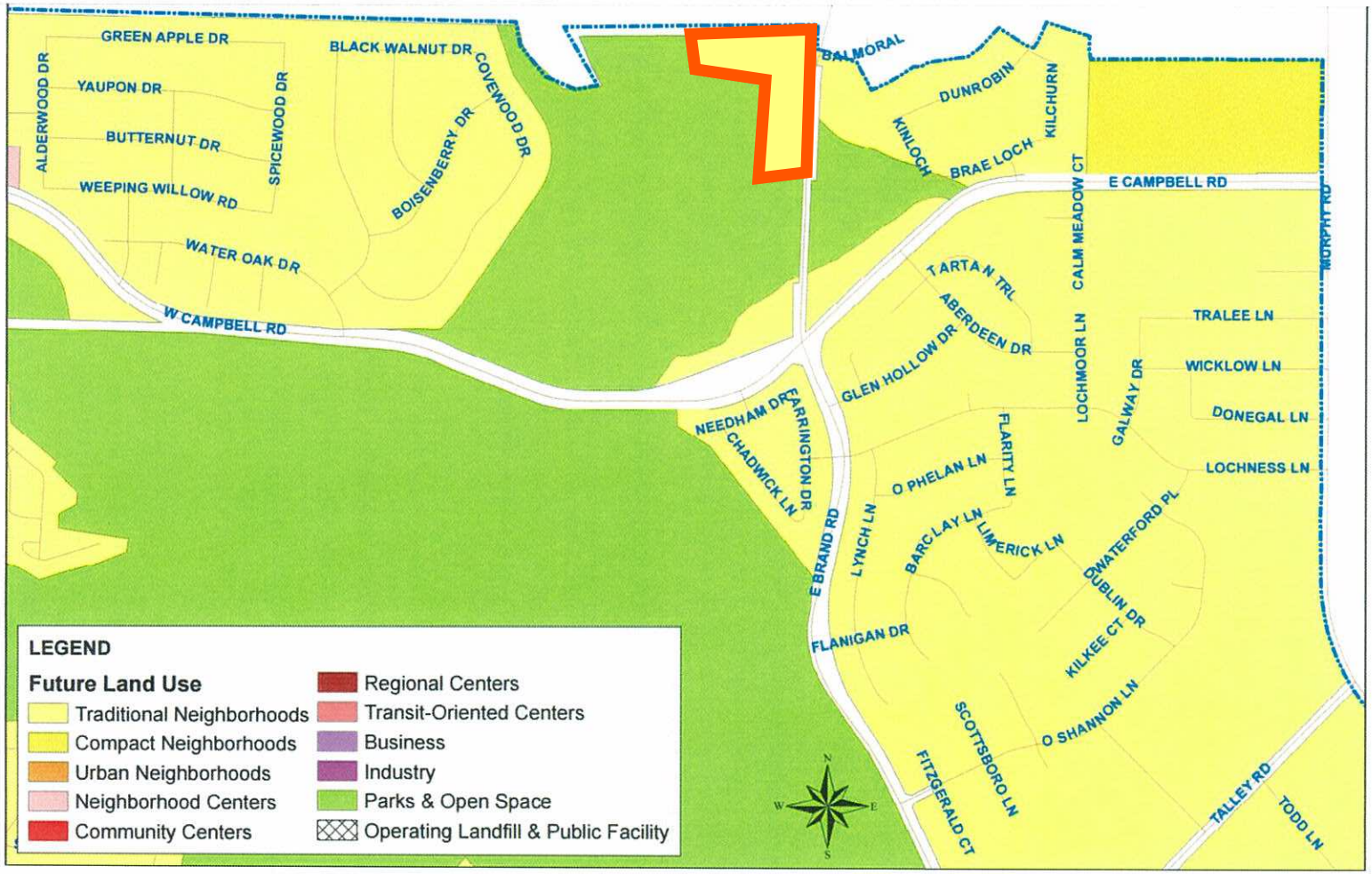
SCALE: 1"=100'
DATE: JUNE 2016
DRAWN BY: FCP
CHK'D BY: MHH
JOB NO. 1620-074
FILE: 1620-074-PD

REVISION | DESCRIPTION | DATE | BY

SHEET 1 OF 1



Current Land Use Map



Proposed Change in Land Use Map

REPORT & MINUTES

P.C. Meeting, July 11, 2016 (7 Members Present)

Consideration of the application of Serene Global, requesting approval of an amendment to the Envision Garland Plan Future Land Use Map from "Parks and Open Space (Public and Private)" to "Traditional Neighborhoods". This property is located at 2401 and 2601 Brand Road. (District 1) (File LU 16-01)

The applicant Jim Koch, 2107 Brandeis, Richardson, TX provided a brief overview of the request and remained available for questions.

There were no questions of this applicant.

Motion was made by Commissioner Luckie, seconded by Commissioner O'Hara to the request per staff recommendation. **Motion carried: 7** Ayes, **0** Nays.

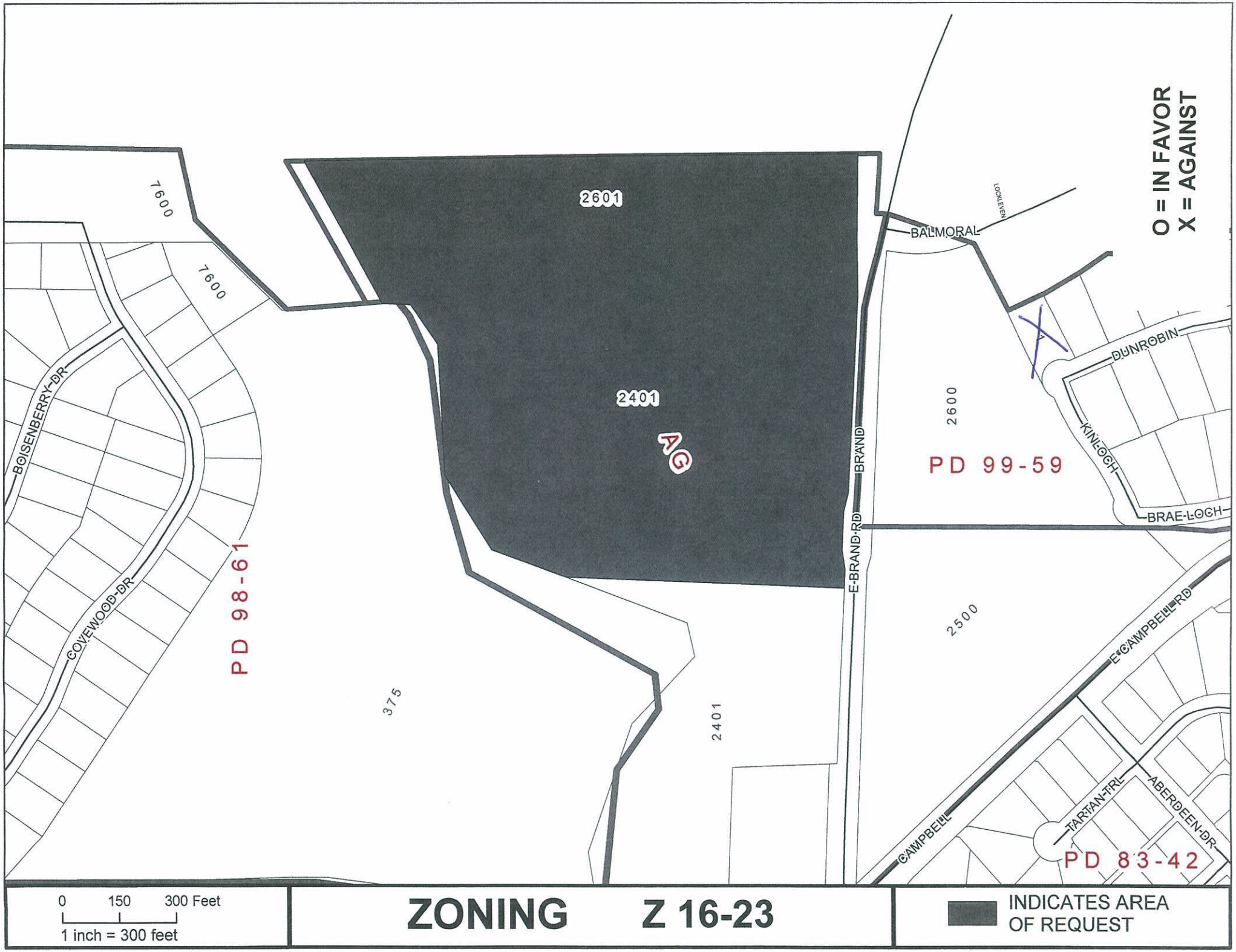
REPORT & MINUTES

P.C. Meeting, July 11, 2016 (7 Members Present)

Consideration of the application of Serene Global, requesting approval of 1) a zoning change from Agriculture (AG) District to Planned Development (PD) for Single-Family-10 (SF-10) Uses and 2) a Concept Plan for Dwelling, Single-Family Detached. The property is located at 2401 and 2601 Brand Road. (District 1) (File Z 16-23)

The applicant Jim Koch, 2107 Brandeis, Richardson, TX provided a brief overview of the request and remained available for questions.

Motion was made by Commissioner Luckie, seconded by Commissioner Fisher to approve the request per staff recommendation. **Motion carried: 7** Ayes, **0** Nays.


O = IN FAVOR
X = AGAINST
2601
2401
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7600
BOISENBERRY DR
COVEWOOD DR
PD 98-61
375
2401
BALMORAL
LOCKLEVEN
E BRAND RD
BRAND
2600
PD 99-59
DUNROBIN
KINLOCH
BRAE-LOCH
2500
E CAMPBELL RD
CAMPBELL
TARTAN TRL
ABERDEEN DR
PD 83-42
0 150 300 Feet
1 inch = 300 feet
ZONING Z 16-23
INDICATES AREA OF REQUEST

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 1, 2016

HEARING DATE/TIME: Plan Commission: July 11, 2016 – 7:00 PM

APPLICANT: Serene Global

File LU 16-01 and Z 16-23

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, July 11, 2016, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Serene Global** requesting approval of 1) a land use amendment to the Envision Garland Future Land Use Map from "Parks and Open Space (Public and Private)" to ""Traditional Neighborhoods"; 2) a zoning change from Agriculture (AG) District to Planned Development (PD) District for Single-Family-10 (SF-10) Uses and 3) a Concept Plan for Dwelling, Single-Family Detached. The property is shown on the enclosed sketch and is described as follows:

BEING a tract of land situated in the E.H. Dodd Survey, Abstract Number 393, and being in the E.H. Dodd Survey, Abstract Number 281, being a portion of a tract of land conveyed to Gary Hearn as recorded in Volume 96120, Page 2275 of the Deed Records of Dallas and Collin County, Texas. This property is located at 2401 and 2601 Brand Road. (District 1)

Note: The applicant seeks approval of an amendment to the Envision Garland Future Land Use Map, zoning change and a Concept Plan, to develop the site with a single-family subdivision.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474.** Should you have any questions, please contact Kira Wauwie at 972-205-2456.

(Please Check One Below)
____ I am in favor of the request.
_X_ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.
We were not provided with any details of the application. The land indicated in the application of Serene Global has been flooded badly each time it rained heavily. One person was recently killed because of the flood at the exact location. That portion of the Brand road always has to be closed when it rains hard. Unless the City of Garland has come up with a new solution for the flood issue, we will oppose to the request. It is already difficult for us to have to deal with finding the alternate route when it rains because of the road close. Though the Concept plant of Serene Global include homes with 1/2 acre lots which is compatible with HOB, we will oppose to the request unless we see a good flood plan for the land and/or if the City of Garland has the solution for the flood issue of that portion of Brand Road.

(Please complete the following information)

Your Property Address
AILEEN AND TAM NGUYEN
Printed Name

1 DUNROBIN GARLAND, TEXAS 75044
Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature

SENIOR DIRECTOR, TAX - BORDEN DAIRY COMPANY
Title

Date: JULY 11, 2016

Z 16-23
7-11 PC Mtg

Serene Builder
1719 Analog Drive
Richardson, Texas 75081

Serene Builder and whom it may concern,

We are the owners of 2525 E Brand Road in Garland, Texas as well as the additional 8.1 acres that separates us from the 28 acres currently owned by Mar'Sue Haffner. We purchased the home and property after having owned a home in the Hills of Breckinridge. We have been involved in all the plans and future developments submitted to the owner and she has kept us informed as to all the different scenarios that builders and developers have presented. Mar'Sue has treated this project as if she still owned the home and property at 2525 E Brand Road so that she will do what is right to maintain our investment just as she would hope there's would do the same.

It has taken years but finally a builder developer understands the importance of developing this land for a few, high end, custom homes that can absorb the cost of development by keeping the lots large and the homes to match.It is our hope along with Mar'Sue Haffner the owner of the 28 acres that Serene Build 10-15 (+-) homes on this property. Thank you for the opportunity to share our feelings and hopes for the future of this land.
We plan to live here for many years.

Ashley Granata

Tom and Ashley Granata
2525 E. Brand Road
Garland, Texas 75040
972-400-1750

RECEIVED
JUN 15 2016

Outside the Notification Area

6/1/2016

Jim Koch
Serene Global Group Inc.
1719 Analog Drive
Richardson, Texas 75081

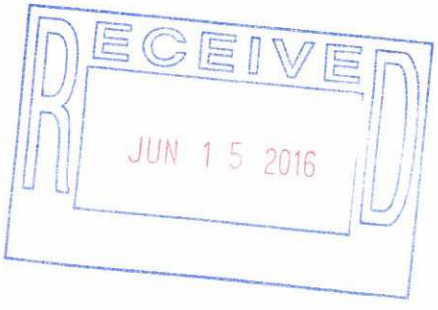
Re: Preserve of Hern
Proposed Development
2401 & 2601 Brand Road, Garland, Texas

Dear Serene:

We have met with Serene and reviewed your plans for a (12) lot/ luxury home gated community development on Brand Road. We do like your concept and think it will be an asset to the area. Furthermore, we are in support of the project and look forward to having you as a neighbor.

Sincerely,

Sammy Jibran



Serene Builder
1719 Analog Drive
Richardson, TX 75081

Dear Jim,

My name is Mar'Sue Haffner and I am the owner of the land at 2401 and 2601 Brand Road on Garland, Texas.

I am excited that Serene has decided to build high end custom homes on this property. I have met with many builders and interested parties over the past few years who have wanted to try to build townhouse, small homes on small lots and every kind of combination you can imagine. I am please that this will be a high end exclusive community on large lots and know the Granata's who purchased 2525 E. Brand Road from me are equally excited as we have met many times over all the options in a hope to protect their investment as well.

One of the most exciting parts of this project will be the name of the community as Gary Hearn was the original owner of all 38 acres. Gary Hern designed and built the home on the corner along with the barn and his wife has shared his vision with me. I want to honor his memory as well as is love for this piece of property by naming it the "Preserve of Hern Place".

Tom and Ashley Granata were owners in The Hills of Breckinridge prior to purchasing 2525 E Brand Rd. from me as I had from Karen Hern. They love their piece and welcome the opportunity to have more high end homes at 2401 and 2601 Brand Road. Their hope for their parents and eventually children is to have the opportunity to live on the land, close to them, someday as well.

I am more than happy to meet with anyone regarding this property and future development. It will be one of the most beautiful neighborhoods, from my perspective that Garland has ever seen.

Mar' Sue

Respectfully,

Mar'Sue Haffner
723 Cedar Cove Drive
Garland, Texas 75040
972-979-2737

National Speaker and Sales Trainer

RECEIVED
JUN 15 2016

ZONING Z 16-23

0 150 300 Feet
1 inch = 300 feet

INDICATES AREA OF REQUEST

PD 83-42
GAMPBELL
TARTAN-TRL
ABERDEEN-DR
E-GAMPBELL-RD
2500
2401
375
E-BRAND-RD
BRAND
PD 98-61
GOVEWOOD-DR
BOISENBERRY-DR
7600
7600
BRAE-LOCH
KINLOCH
PD 99-59
2600
DUNROBIN
AG
2401
2601
BALMORAL
LOCHLEVEN

O = IN FAVOR
X = AGAINST

GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 1, 2016

HEARING DATE/TIME: Plan Commission: July 11, 2016 – 7:00 PM

APPLICANT: Serene Global

File LU 16-01 and Z 16-23

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(Please Check One Below)

____ I am in favor of the request.

__X__ I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

We were not provided with any details of the application. The land indicated in the application of Serene Global has been flooded badly each time it rained heavily. One person was recently killed because of the flood at the exact location. That portion of the Brand road always has to be closed when it rains hard. Unless the City of Garland has come up with a new solution for the flood issue, we will oppose to the request. It is already difficult for us to have to deal with finding the alternate route when it rains because of the road close. Though the Concept plant of Serene Global include homes with 1/2 acre lots which is compatible with HOB, we will oppose to the request unless we see a good flood plan for the land and/or if the City of Garland has the solution for the flood issue of that portion of Brand Road.

(Please complete the following information)

Your Property Address
AILEEN AND TAM NGUYEN
Printed Name

1 DUNROBIN | GARLAND, TEXAS | 75044
Address | City, State | Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Aileen Tham Nguyen
Signature

SENIOR DIRECTOR, TAX - BORDEN DAIRY COMPANY
Title

Date: JULY 11, 2016

Z 16-23
7-11 PC mtg

Serene Builder
1719 Analog Drive
Richardson, Texas 75081

Serene Builder and whom it may concern,

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We plan to live here for many years.

Ashley Granata

Tom and Ashley Granata
2525 E. Brand Road
Garland, Texas 75040
972-400-1750

RECEIVED
JUN 15 2016

Outside the Notification Area

6/1/2016

Jim Koch
Serene Global Group Inc.
1719 Analog Drive
Richardson, Texas 75081

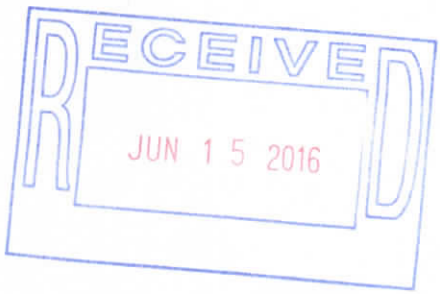
Re: Preserve of Hern
Proposed Development
2401 & 2601 Brand Road, Garland, Texas

Dear Serene:

We have met with Serene and reviewed your plans for a (12) lot/ luxury home gated community development on Brand Road. We do like your concept and think it will be an asset to the area. Furthermore, we are in support of the project and look forward to having you as a neighbor.

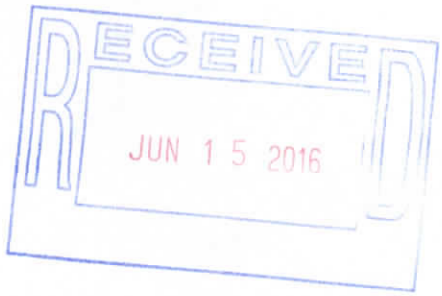
Sincerely,

Sammy Jibran



Serene Builder
1719 Analog Drive
Richardson, TX 75081

Dear Jim,
My name is Mar'Sue Haffner and I am the owner of the land at 2401 and 2601 Brand Road on Garland, Texas.
I am excited that Serene has decided to build high end custom homes on this property. I have met with many builders and interested parties over the past few years who have wanted to try to build townhouse, small homes on small lots and every kind of combination you can imagine. I am please that this will be a high end exclusive community on large lots and know the Granata's who purchased 2525 E. Brand Road from me are equally excited as we have met many times over all the options in a hope to protect their investment as well.
One of the most exciting parts of this project will be the name of the community as Gary Hearn was the original owner of all 38 acres. Gary Hern designed and built the home on the corner along with the barn and his wife has shared his vision with me. I want to honor his memory as well as is love for this piece of property by naming it the "Preserve of Hern Place".
Tom and Ashley Granata were owners in The Hills of Breckinridge prior to purchasing 2525 E Brand Rd. from me as I had from Karen Hern. They love their piece and welcome the opportunity to have more high end homes at 2401 and 2601 Brand Road. Their hope for their parents and eventually children is to have the opportunity to live on the land, close to them, someday as well.
I am more than happy to meet with anyone regarding this property and future development. It will be one of the most beautiful neighborhoods, from my perspective that Garland has ever seen.

Respectfully,
Mar'Sue Haffner
723 Cedar Cove Drive
Garland, Texas 75040
972-979-2737

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